



PROPOSED **McDONALD'S RESTAURANT WITH DRIVE-THRU**







PROPERTY OWNERS LIST

WITHIN 200' RADIUS CERTIFIED BY RENEE FROTTON, TAX ASSESSOR DETAIL JULY 23, 2020



PRELIMINARY & FINAL SITE PLANS – FOR –



78 U.S. ROUTE 9 BLOCK 268, LOTS 62 & 80 **TOWNSHIP OF MARLBORO** MONMOUTH COUNTY, NEW JERSEY C3 (COMMUNITY COMMERCIAL) DISTRICT; TAX MAP SHEET #79





DRAWING SHEET INDEX

SCALE: 1" = 1,000'

SOURCE: GOOGLE MAPS

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BOUNDARY, TOPOGRAPHIC, & UTILIITY SURVEY (BY OTHERS)	1 OF 1

APPROVAL BLOCK

TOWNS APPROVED BY THE	SHIP OF MARLBOI E PLANNING BOARD C	RO BOARD APPROV	AL RLBORO, NJ
CHAIRMAN			DATE
SECRETARY			DATE
TOWNSHIP ENGINEE	R		DATE



ŔD	B.A. BOHLER
20	
E Y HLER HALL	PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 47421 DELAWARE LICENSE No. 17111 FLORIDA LICENSE No. 73277 NEW YORK LICENSE No. 088514-1 CONNECTICUT LICENSE No. 26039 PENNSYLVANIA LICENSE No. 077366

COU	NTY							
MONMOUTH COUNTY								
REGIONAL DWG. NO	PLAN DESCRIPTION							
L/C: 029-0328	COVER SHEET							

NJ

PROPOSED SITE IMPROVEMENTS

BLOCK 268; LOTS 62 & 80

STREET ADDRESS

78 U.S. ROUTE 9

CITY

TOWNSHIP OF MARLBORO

CAD FILE: J180406-CDS-0F



GENERAL NOTES

(Rev. 1/2020)

- THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING NJ. LLC (HEREIN "BOHLER ENGINEERING") PRIOR TO THE DATE ON WHICH ENGINEER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIEY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER ENGINEERING. IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE. PRIOR TO THE INITIATION AND COMMENCEMENT OF
- CONSTRUCTION. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS/REPORTS AND
- CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT. AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE
- MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL. ELECTRICAL PLUMBING AND FIRE SUPPRESSION PLANS WHERE APPLICABLE) THE CONTRACTOR MUST IMMEDIATELY NOTICY OWNER ARCHITECT AND ENGINEER OF RECORD. IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT
- OCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS. MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK
- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK, SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS, DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS, THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH, AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY
- WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS. THE GEOTECHNICAL REPORT. SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND. IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS: AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT ENGINEER OF RECORD IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY
- HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE
- THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT. STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT. UTILITIES. BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT
- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE ALL DEMOLITION AND CONSTRUCTION WASTES. UNSUITABLE EXCAVATED MATERIAL EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
- THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION. INCLUDING BUT NOT LIMITED TO DRAINAGE. UTILITIES. PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE. WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE
- START OF CONSTRUCTION. THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER ENGINEERING HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER ENGINEERING SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS AT ANY TIME THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING. TO THE ENGINEER OF RECORD AND BOHLER ENGINEERING. ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE. IT WILL BE AT THE CONTRACTOR'S OWN RISK AND FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER ENGINEERING FOR ANY AND ALL DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING.
- BUT NOT LIMITED TO ANY THIRD PARTY AND FIRST PARTY CLAIMS THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES. STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER ENGINEERING HARMLESS FOR AND FROM ALL INJURIES. CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER ENGINEERING SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER ENGINEERING INCUR AS
- RELATED TO SAME. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE. EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES AFEILIATES SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL TO THE FULLEST EXTENT PERMITTED UNDER THE LAW INDEMNIFY DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST PRESENT AND FUTURE OWNERS OFFICERS DIRECTORS PARTNERS SHAREHOLDERS MEMBERS PRINCIPALS COMMISSIONERS AGENTS SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING. AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION. SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
- THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS. TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS,
- EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER ENGINEERING PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY BOHLER ENGINEERING AND ITS EMPLOYEES. PERSONNEL AGENTS, SUBCONTRACTORS AND SUBCONSULTANTS HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND, PROTECT AND HOLD HARMLESS BOHLER ENGINEERING FOR AND FROM ANY LIABILITY TO BOHLER ENGINEERING RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER ENGINEERING AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER ENGINEERING'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER
- ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS. SUCH AS SHOP DRAWINGS. PRODUCT DATA. SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES. COORDINATION OF THE WORK WITH OTHER TRADES. AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER ENGINEERING HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER ENGINEERING WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER ENGINEERING'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER ENGINEERING'S ATTENTION. BOHLER ENGINEERING IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST
- OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND/OR BOHLER ENGINEERING FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND FURTHER MUST DEFEND INDEMNIFY PROTECT AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER ENGINEERING PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES. COSTS. JUDGMENTS. CLAIMS. INJURIES. PENALTIES AND THE LIKE RELATED TO SAME. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST
- FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN: AND, FURTHER, THE ENGINEER OF RECORD AND/OR BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER ENGINEERING PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND/OR BOHLER ENGINEERING INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF
- THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER ENGINEERING HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK. THE CONTRACTOR AND THE OWNER MUST INSTALLALLE FEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO
- DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND/OR BOHLER ENGINEERING PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES. INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP. INCLUDING BUT NOT LIMITED O LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER OF RECORD, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR

TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

DEMOLITION NOTES

- NTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY
- PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS. 4. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY
- CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN. A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. B. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING,
- TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE FEDERAL LOCAL AND JURISDICTIONAL REQUIREMENTS THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC 5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR
- COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE . ENGINEER OF RECORD AND/OR BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA
- NEAR TO THE SAME THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME. TO OR NEAR THE DEMOLITION AREA.
- PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD. PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND/OR BOHLER ENGINEERING, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND/OR BY BOHLER ENGINEERING, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED II
- LOCAL REGULATIONS RULES REQUIREMENTS STATUTES ORDINANCES AND CODES THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS
- 10. PRIOR TO COMMENCING ANY DEMOLITION. THE CONTRACTOR MUST: A OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC
- LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK
- SAID CONTROLS UNTIL SITE IS STABILIZED D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT. IN ADVANCE OF ANY EXCAVATION.
- AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
- DEMOLITION ACTIVITIES. G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN. NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
- H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, OR THE CONTRACT WITH THE OWNER/DEVELOPER. THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY AND IMMEDIATELY NOTIFY IN WRITING AND VERBALLY THE
- AND COMPLIANT REMOVAL OF SAME. THE CONTRACTOR MUST ENSURE THAT ANY EXISTING ASBESTOS-CONTAINING MATERIALS ENCOUNTERED ARE PROPERLY REMOVED FROM THE SUBJECT PREMISES AND ARE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, PRIOR TO THE COMMENCEMENT OF DEMOLITION ON SITE AND MUST PERFORM ALL AGENCY NOTIFICATIONS AS REQUIRED AT THE CONTRACTOR'S SOLE EXPENSE 2. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS,
- CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER. 13. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION. 14. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL
- MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER.
- 15. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE, THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. 16. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES
- TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST. 17 PAVEMENT MUST BE SAW OUT IN STRAIGHT LINES AND EXCEPT FOR EDGE OF BUTT JOINTS MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF
- EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO. THE PUBLIC RIGHT-OF-WAY. 18. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED,

IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE

AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

ACCESSIBILITY DESIGN GUIDELINES

- ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET. AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS O BOTH. WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED
- THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND INSISTENCY WITH INDUSTRY GUIDELINES. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVELEROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY, UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.
- PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. <u>HAND RAILS</u> ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES.
- NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT FXCEED A SLOPE OF 1:12 (8.3%) DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH F TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE.
- BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE). WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR
- IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. G. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE
- ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE. REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES. 4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION. ANY WORK PROPOSED IN THE STATE OF NEW JERSEY MUST CONFORM TO THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7, BARRIER-FREE ACCESS.

SITE LAYOUT NOTES (Rev. 1/2020)

THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST

FECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING,

REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR

CCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND

RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED. FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED. REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES

AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN

LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY PROTECT AND MAINTAIN IN OPERATION. ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY

OWNER AND ENGINEER OF RECORD AND BOHLER ENGINEERING. THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER

FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND

(Rev. 1/2020)

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.

2. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE

ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST

THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED

ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST

(Rev. 2/2020) THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

- PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY 3. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS. GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.
- THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB. EDGE OF PAVEMENT, OR EDGE OF BUILDING. EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT
- ACCORDANCE WITH THE DETAILS. UNLESS NOTED CLEARLY OTHERWISE WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN, PER NJDEP REQUIREMENTS), THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF PROVIDED).
- ALL WEATHERED CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 AYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPOR THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES WHETHER SPECIFIED ON THIS PLAN OR NOT

GRADING NOTES

ORDINANCES LAWS AND STATUTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT. DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES
- SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT
- THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT
- ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS
- AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE, MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER. REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER LINSUITABLE MATERIALS, SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER. OR OWNER/DEVELOPER'S REPRESENTATIVE. SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE
- RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE
- STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S). THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE
- PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE ENGINEER OF RECORD APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLING CURBING
- THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES (EXCEPT WHERE ADA REQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES. 1.5% ON ASPHALT SURFACES. 2% IN LANDSCAPED AREAS AND 0.75% SLOPE AGAINST ALL ISLANDS. GUTTERS, AND CURBS TO PROVIDE POSITIVE DRAINAGE WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON THE PLANS TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF WALL AND
- DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING). WALL FOOTINGS/FOUNDATION ELEVATIONS WHICH ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR, MUST BE DETERMINED AND SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE PPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT LICENSED STRUCTURAL ENGINEER DESIGNS ALL WALLS SHOWN HEREON AND THAT PRIOR TO CONSTRUCTION, THE MUNICIPALITY APPROVES ALL SIGNED AND SEALED SHOP DRAWINGS. FURTHER, THE CONTRACTOR MUST ENSURE THAT
- FENCING GUIDERAIL UTILITIES AND OTHER SITE AMENITIES IN THE VICINITY OF THE RETAINING WALL(S) PROPOSED. SCHEMATICALLY IN THESE PLANS, ARE MATERIALLY CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN (BY THE CONTRACTOR MUST ENSURE THAT THERE ARE NO UTILITIES INSTALLED ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY BE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY

SUPPORTING THE WALL IN ACCORDANCE WITH THE STANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES,

- COMPLY WITH THESE NOTES. IN THEIR EN WITH ALL OF THE GENERAL NOTES AND A
 - LOCATIONS OF ALL EXISTING AND PROPO /ERIFY AND CONFIRM THOSE LOCATION CONSTRUCTION OR EXCAVATION THE CO POINTS AND ALL OTHER UTILITY SERVICE
 - CONTRACTOR MUST REPORT ALL DISCRE THE CONTRACTOR MUST VERTICALLY AND TO, GAS, WATER, ELECTRIC, SANITARY AN DISTURBANCE OR WORK SPACE, WHICHE REQUIREMENTS OF THE APPLICABLE UTIL CONTRACTOR IS RESPONSIBLE FOR REPA
 - CONSTRUCTION, AT NO COST TO THE OW ALL COSTS ASSOCIATED WITH DAMAGE T THE CONTRACTOR MUST FIELD VERIFY TH UTILITIES BY USING A TEST PIT TO CONFI STORMWATER ROOF DRAIN LOCATIONS A
 - VERIEVING LOCATIONS OF SAME BASED L THE CONTRACTOR IS RESPONSIBLE FOR BUILDING UTILITY CONNECTION LOCATION GRADING. THE ARCHITECT WILL DETERMI OF UTILITY SERVICES WITH THE INDIVIDU. ACHIEVED. THE CONTRACTOR IS RESPON
 - LITILITY REQUIREMENTS OF THE APPLICAT REQUIREMENTS, RULES, STATUTES, LAWS UTILITY TIE-INS/CONNECTIONS PRIOR TO BETWEEN THESE DOCUMENTS AND THE AF POINTS DIFFER, THE CONTRACTOR MUST

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- CONSTRUCTION. MUST RESOLVE SAME ALL FILL, COMPACTION, AND BACKFILL MA RECOMMENDATIONS PROVIDED IN THE GE APPLICABLE UTILITY COMPANY SPECIFICA FILL AND COMPACTION MUST, AT A MINIM CONSULTANT HAS NO LIABILITY OR RESP
- DURING THE INSTALLATION OF SANITARY, AND THOROUGH RECORD OF CONSTRUCT INFRASTRUCTURE THE CONTRACTOR MU INFORMATION CONTAINED IN THESE PLAN CONTRACTOR MUST PROMPTLY PROVIDE THE CONTRACTOR MUST ENSURE THAT
- WATER AND STORM SYSTEMS. ARE REPA DETAILS AS APPLICABLE. THE CONTRACT AGENCY WITH JURISDICTION OVER SAME 10. FINAL LOCATIONS OF PROPOSED UTILITY RESPECTIVE UTILITY COMPANY, REGARDL
- WATER SERVICE MATERIALS, BURIAL DEP THE CONTRACTOR MUST CONTACT THE A TO COMMENCING CONSTRUCTION. 12 THE CONTRACTOR'S PRICE FOR WATER SI UTILITY TO PROVIDE FULL AND COMPLETE
- 3. SEWERS CONVEYING SANITARY FLOW, CO SEPARATED FROM WATER MAINS BY A DI POSSIBLE. THE PIPES MUST BE IN SEPARA MAIN, OR SUCH OTHER SEPARATION AS A APPROPRIATE SEPARATION FROM A WATE CONSTRUCTED OF DUCTILE IRON PIPE US EITHER SIDE OF THE CROSSING, IN ADDIT AS FAR FROM THE WATER LINE AS POSSI
- SUPPORT FOR THE SEWER MUST BE PRO 4. WHEN THESE PLANS INVOLVE MULTIPLE EXTEND ALL LINES INCLUDING BUT NOT L FIVE (5) FEET BEYOND THE PAVED AREAS AS APPROPRIATE, MARK LOCATIONS WITH COPY OF THE PLAN, WHICH THE CONTRAC
- OF WORK 15. STORM AND SANITARY PIPE LENGTHS IND MANHOLES STRUCTURE TO CENTER OF S 16. THE CONTRACTOR MUST NOTIFY. IN WRIT INSTALLATION OF SANITARY COMPONENT
- DESIGNATED ENGINEER MAY REQUIRE RE CONTRACTOR'S SOLE COST AND EXPENS 17. SEWERS CROSSING STREAMS AND/OR LC SO INDICATE, MUST BE CONSTRUCTED OF 18 SANITARY PIPE MUST BE POLYVINYL CHI A. FOR PIPES LESS THAN 12 FEET DEEP
- FOR PIPES GREATER THAN 12 FEET D SANITARY LATERAL MUST BE PVC SC 19. UNLESS CLEARLY INDICATED OTHERWISE SILT/SOIL TIGHT JOINTS, WHEN HIGH-DENS TO AASHTO M252 FOR PIPES 4" TO 10" AND ANGULAR CORRUGATIONS) WITH GASKET
- 26 OR PVC SCHEDULE 40 UNLESS INDICATE ASTM F477. 21. WATER MAIN PIPING MUST BE INSTALLED I WATER COMPANY. IN THE ABSENCE OF SU MINIMUM CLASS 52 THICKNESS, ALL PIPE A EFFECT AT THE TIME OF APPLICATION. 22. GAS METERS MUST BE PROTECTED BY BO

Know what's **below**. Call before you dig. NEW JERSE YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-272-1000

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BOHLER SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES



DRAINAGE AND UTILITY

DRAIN	AGE AND UTILITY NOTES		(Rev.1/2020)						
1. THE GEI DOCUMI COMPLY WITH AI	NERAL NOTES MUST BE INCLUDED AS PART OF THI ENTS. THE GENERAL NOTES ARE REFERENCED HEI (WITH THESE NOTES, IN THEIR ENTIRETY. THE CON I OF THE GENERAL NOTES AND ALL OF THE PLANS	S ENTIRE DOCUMENT PACKAGE AND ARE PART OF REIN, AND THE CONTRACTOR MUST REFER TO THE NTRACTOR MUST BE FAMILIAR WITH AND ACKNOWL	THE CONTRACT M AND FULLY EDGE FAMILIARITY	AND CONTACTS		JE REF			
2. LOCATIO VERIFY CONSTR POINTS	DNS OF ALL EXISTING AND PROPOSED SERVICES A AND CONFIRM THOSE LOCATIONS AND SERVICES V RUCTION OR EXCAVATION. THE CONTRACTOR MUS AND ALL OTHER UTILITY SERVICE CONNECTION PC	RE <u>APPROXIMATE</u> , AND THE CONTRACTOR MUST IN WITH LOCAL UTILITY COMPANIES PRIOR TO COMME T INDEPENDENTLY VERIFY AND CONFIRM ALL SANI WINTS IN THE FIELD, PRIOR TO COMMENCING ANY C	NDEPENDENTLY NCING ANY TARY CONNECTION ONSTRUCTION. THE ♦ BC	ERENCES UNDARY, TOPOGRAPHIC, & UTILITY		ISSI			
3. THE COI TO, GAS	ACTOR MUST REPORT ALL DISCREPANCIES, ERROR NTRACTOR MUST VERTICALLY AND HORIZONTALLY 5, WATER, ELECTRIC, SANITARY AND STORM, TELER BANCE OR WORK SPACE, WHICHEVER IS GREATER	S AND OMISSIONS IN WRITING, TO THE ENGINEER (LOCATE ALL UTILITIES AND SERVICES INCLUDING, HONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN TH THE CONTRACTOR MUST USE, REFER TO, AND CO	OF RECORD. BUT NOT LIMITED CO HE LIMITS OF 30 MPLY WITH THE WA	<u>RVEY:</u> NTROL POINT ASSOCIATES, INC. NDEPENDENCE BOULEVARD, SUITE 200 RREN, NJ 07059		BΥ			
CONTRA CONSTRA CONSTRA ALL COS	EMENTS OF THE APPLICABLE UTILITY NOTIFICATION ACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMA RUCTION, AT NO COST TO THE OWNER AND AT CON STS ASSOCIATED WITH DAMAGE TO ANY EXISTING I	N SYSTEM TO LOCATE ALL OF THE UNDERGROUND GE TO ANY EXISTING UTILITIES WHICH OCCUR DUR TRACTOR'S SOLE COST AND EXPENSE. THE CONTF JTILITIES WHICH OCCURS DURING CONSTRUCTION TEPEACE POINTS (CROSSINGS) WITH EXISTING UNIT	UTILITIES. THE DA' ING RACTOR MUST BEAR SUI I. ELE	FED: 02/11/2020 RVEY JOB #: 01-190550-00 EVATIONS: NAVD 1988					
4. THE CON UTILITIE 5. STORMV VERIFYI 6 THE COI	S BY USING A TEST PIT TO CONFIRM EXACT DEPTH WATER ROOF DRAIN LOCATIONS ARE BASED ON AR NG LOCATIONS OF SAME BASED UPON FINAL ARCH NTRACTOR IS RESPONSIBLE FOR COORDINATING S	, PRIOR TO COMMENCEMENT OF CONSTRUCTION. CHITECTURAL PLANS. THE CONTRACTOR IS RESPO INTECTURAL PLANS.	SERVICE FOR RE SECONSIBLE FOR RE WH SECON EXACT	OTECHNICAL INVESTIGATION PORT: ITESTONE ASSOCIATES, INC.					
BUILDIN GRADIN OF UTILI ACHIEVI	G UTILITY CONNECTION LOCATIONS, GREASE TRAF G. THE ARCHITECT WILL DETERMINE THE UTILITY S ITY SERVICES WITH THE INDIVIDUAL COMPANIES, T ED. THE CONTRACTOR IS RESPONSIBLE FOR ENSU	P REQUIREMENTS AND DETAILS, DOOR ACCESS, AN ERVICE SIZES. THE CONTRACTOR MUST COORDIN/ O AVOID CONFLICTS AND TO ENSURE THAT PROPE RING THAT INSTALLATION OF ALL IMPROVEMENTS	ATE INSTALLATION DATE OF THE ARE COMPLIES WITH ALL	RREN, NJ 07059 FED: 12/31/2019		NO			
UTILITY REQUIRI UTILITY BETWEE	REQUIREMENTS OF THE APPLICABLE JURISDICTION EMENTS, RULES, STATUTES, LAWS, ORDINANCES A TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EN THESE DOCUMENTS AND THE ARCHITECTURAL	N AND REGULATORY AGENCIES AND ALL OTHER AP ND CODES AND, FURTHER, IS RESPONSIBLE FOR C THE EXISTING UTILITY/SERVICE. WHERE A CONFLIC PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY (PLICABLE CO COORDINATING THE 58 CT(S) EXISTS SU CONNECTION WA	RE STATES DESIGN P.C. MOUNT BETHEL ROAD TE 301 REFN NJ 07059		CRIPTIC			
POINTS CONSTF 7. ALL FILL RECOM	DIFFER, THE CONTRACTOR MUST IMMEDIATELY NO RUCTION, MUST RESOLVE SAME. ., COMPACTION, AND BACKFILL MATERIALS REQUIR MENDATIONS PROVIDED IN THE GEOTECHNICAL RE	DTIFY THE ENGINEER OF RECORD, IN WRITING, AND ED FOR UTILITY INSTALLATION MUST BE EXACTLY PORT AND THE CONTRACTOR MUST COORDINATE	AS PER THE SAME WITH THE	ORMWATER STATEMENT:		DES			
APPLICA FILL ANE CONSUL 8. DURING	ABLE UTILITY COMPANY SPECIFICATIONS. WHEN TH D COMPACTION MUST, AT A MINIMUM, COMPLY WITH TANT HAS NO LIABILITY OR RESPONSIBILITY FOR C THE INSTALLATION OF SANITARY, STORM, AND ALL	IE PROJECT DOES NOT HAVE GEOTECHNICAL RECO H THE STATE DOT REQUIREMENTS AND SPECIFICA DR AS RELATED TO FILL, COMPACTION AND BACKFII L UTILITIES, THE CONTRACTOR MUST MAINTAIN A C	DMMENDATIONS, BO TIONS AND 30 LL. WA ONTEMPORANEOUS DA	HER ENGINEERING NJ, LEC NDEPENDENCE BOULEVARD, SUITE 200 RREN, NJ 07059 FED: JANUARY 2021					
INFRAST INFORM CONTRA 9 THE COL	IRUCTURE. THE CONTRACTOR MUST CAREFULLY N ATION CONTAINED IN THESE PLANS. THIS RECORD ACTOR MUST PROMPTLY PROVIDE TO THE OWNER NTRACTOR MUST ENSURE THAT ALL UTILITY TREND	INTE ASING TALLED EDGATIONS OF ALL UNDERGIN IOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RE MUST BE KEPT ON A CLEAN COPY OF THE SITE PLA IMMEDIATELY UPON THE COMPLETION OF WORK.	ESPECT, FROM THE AN, WHICH THE THE AB INCORF	OVE REFERENCED DOCUMENTS ARE ORATED BY REFERENCE AS PART OF THESE HOWEVER, BOHLER ENGINEERING DOES NOT					
WATER DETAILS AGENCY 10. FINAL LC	AND STORM SYSTEMS, ARE REPAIRED IN ACCORD/ S AS APPLICABLE. THE CONTRACTOR MUST COORD Y WITH JURISDICTION OVER SAME. DCATIONS OF PROPOSED UTILITY POLES, AND/ OR	ANCE WITH REFERENCED MUNICIPAL, COUNTY AND INATE INSPECTION AND APPROVAL OF COMPLETED POLES TO BE RELOCATED ARE AT THE SOLE DISCF	O OR STATE DOT CERTIF O WORK WITH THE OR DEF RETION OF THE	Y THE ACCURACY OF THE WORK REFERENCED RIVED FROM THESE DOCUMENTS, BY OTHERS.		ATE			
RESPEC 11. WATER THE COI TO COM	TIVE UTILITY COMPANY, REGARDLESS OF WHAT TH SERVICE MATERIALS, BURIAL DEPTH, AND COVER F NTRACTOR MUST CONTACT THE APPLICABLE MUNI IMENCING CONSTRUCTION.	HIS PLAN DEPICTS. REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL CIPALITY TO CONFIRM THE PROPER WATER METER	L UTILITY COMPANY. & AND VAULT, PRIOR						
12. THE CON UTILITY 13. SEWERS SEPARA POSSIBL	TO PROVIDE FULL AND COMPLETE WORKING SERV S CONVEYING SANITARY FLOW, COMBINED SANITAR ITED FROM WATER MAINS BY A DISTANCE OF AT LE LE, THE PIPES MUST BE IN SEPARATE TRENCHES W	ICE. RY AND STORMWATER FLOW, OR INDUSTRIAL FLOV (AST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEI (ITH THE AT LEAST 18 INCHES BELOW THE BOTTOM	V MUST BE PARATION IS NOT OF THE WATER			R			
MAIN, OI APPROF CONSTF EITHER	R SUCH OTHER SEPARATION AS APPROVED BY THE PRIATE SEPARATION FROM A WATER MAIN IS NOT P RUCTED OF DUCTILE IRON PIPE USING MECHANICAI SIDE OF THE CROSSING. IN ADDITION, ONE FULL LE	E GOVERNMENTAL AGENCY WITH JURISDICTION OV OSSIBLE, THE SEWER MUST BE ENCASED IN CONC L OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAS ENGTH OF SEWER PIPE SHOULD BE LOCATED SO BO	'ER SAME. WHERE RETE, OR T 10 FEET ON DTH JOINTS WILL BE			RES			
AS FAR SUPPOF 14. WHEN T EXTEND	FROM THE WATER LINE AS POSSIBLE. WHERE A WA RT FOR THE SEWER MUST BE PROVIDED. 'HESE PLANS INVOLVE MULTIPLE BUILDINGS, SOME 0 ALL LINES, INCLUDING BUT NOT LIMITED TO STORI FEET REVOND THE DAVED AREAS FOR WHICH THE	ATER MAIN CROSSES UNDER A SEWER, ADEQUATE OF WHICH MAY BE BUILT AT A LATER DATE, THE CO M, SANITARY, UTILITIES, AND IRRIGATION LINES, TO CONTRACTOR IS DESPONSIBLE. THE CONTRACTOR	STRUCTURAL ONTRACTOR MUST A POINT AT LEAST			NATU			
AS APPF COPY O OF WOR 15. STORM	ROPRIATE, MARK LOCATIONS WITH A 2X4 STAKE, AI F THE PLAN, WHICH THE CONTRACTOR MUST PROM K. AND SANITARY PIPE LENGTHS INDICATED ARE NON	ND MUST NOTE THE LOCATION OF ALL OF THE ABO MPTLY PROVIDE TO THE OWNER IMMEDIATELY UPO	VE ON A CLEAN IN THE COMPLETION			AN SIG			
MANHOL 16. THE COL INSTALL DESIGN	LES STRUCTURE TO CENTER OF STRUCTURE. NTRACTOR MUST NOTIFY, IN WRITING, THE W.M.U.A ATION OF SANITARY COMPONENTS. FAILURE TO HA ATED ENGINEER MAY REQUIRE RE-EXCAVATION OF	A. ENGINEER AT LEAST THREE (3) BUSINESS DAYS F AVE SANITARY INSTALLATION AND TESTING OBSER ⁵ SANITARY LINE, AND RE-TESTING, WHICH WILL BE	PRIOR TO VED BY THE DONE AT THE			AL PL/			
CONTRA 17. SEWERS SO INDIO 18. SANITAR	ACTOR'S SOLE COST AND EXPENSE. S CROSSING STREAMS AND/OR LOCATION WITHIN 1 CATE, MUST BE CONSTRUCTED OF REINFORCED C(RY PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 2 DIRES LESS THAN 12 EEET DEED: POLYVINYL CHL	0 FEET OF THE STREAM EMBANKMENT, OR WHERE DNCRETE, DUCTILE IRON OR OTHER SUITABLE MAT 35 EXCEPT WHERE CLEARLY INDICATED OTHERWIS DEIDE (DVC) SDB 35 PER ASTM D334	ESITE CONDITIONS FERIAL. SE.			FIN	P.M.	0 0/0	
A. FOR B. FOR C. SAN 19. UNLESS SILT/SO	R PIPES GREATER THAN 12 FEET DEEP: POLIVINTE CINYL NITARY LATERAL MUST BE PVC SCHEDULE 40 OR PV CLEARLY INDICATED OTHERWISE, ALL STORM PIPI IL TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYL	CHLORIDE (PVC) SDR 35 PER ASTM D3034. CHLORIDE (PVC) SDR 26 PER ASTM D3034. /C SDR 26 UNLESS CLEARLY INDICATED OTHERWIS ES MUST BE REINFORCED CONCRETE PIPES (RCP) ENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT	E. CLASS III WITH MUST CONFORM			(
TO AASH ANGULA 26 OR P' ASTM F ²	HTO M252 FOR PIPES 4" TO 10" AND TO AASHTO M29 R CORRUGATIONS) WITH GASKET FOR SILT/SOIL T VC SCHEDULE 40 UNLESS INDICATED OTHERWISE. 477.	34 FOR PIPES 12" TO 60" AND TYPE S (SMOOTH INTE IGHT JOINT. PIPE FOR ROOF DRAIN CONNECTION M HDPE PIPE JOINT GASKETS MUST BE PROVIDED AN	RIOR WITH IUST BE HDPE SDR ID CONFORM TO					ГС	
21. WATER WATER MINIMUN EFFECT 22. GAS ME	COMPANY. IN THE ABSENCE OF SUCH REQUIREMENT IN CLASS 52 THICKNESS. ALL PIPE AND APPURTENA AT THE TIME OF APPLICATION. TERS MUST BE PROTECTED BY BOLLARDS AND FEI	NTS, WATER MAIN PIPING MUST BE CEMENT-LINED NCES MUST COMPLY WITH THE APPLICABLE AWWA	DUCTILE IRON (DIP) STANDARDS IN BUILDING AS			(0)'S USA, L ISSION.	
REQUIR	ED BY THE JURISDICTIONAL GAS PURVEYOR.							AcDONALI	N TEAM 59 - 9238
						(902	ERTY OF N EIR WRIT	(ECUTIO TREET (203) 35
								HE PROPI HOUT TH	IELD EX MAIN S F 06901
						($\overline{\bigcirc}$	NS ARE T JCED WIT	EAST F 695 E. ORD, C ⁻
								SIFICATIO REPRODI	STAMF
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						(25)	E PLANS , ND SHAL	
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				ISSUED FOR MUNICI	PAL &		SNATUR		SIGNS
				THIS DRAWING IS INTENDED FOR MUNICI AGENCY REVIEW AND APPROVAL. IT IS NOT CONSTRUCTION DOCUMENT UNLESS INDICAT	PAL AND/OR NTENDED AS A ED OTHERWISE.				Ś
			BLOCK	268; LOTS 62 & 80			GR.	S DEPT. E DEPT.	<u>к</u>
			s [.] 78	J.S. ROUTE 9			EGIONAL N ONST. MGF	PERATION EAL ESTAT	ONTRACTC
				ST/	ATE	S	TATUS	o ₽ DAT	० б E BY
тм	BOHLER ENGINEERING NJ, LLC 30 INDEPENDENCE BOULEVARD WARREN, NJ 07059	B.A. BOHLFR	I OWNSHIP OF	COUNTY N	J	PREL PLAN	IMINARY CHECKED	01/22	/21 RND /21 AJL
	Phone:(908) 668-8300 Fax:(908) 754-4401 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 24GA28161700				N	AS-BI	JILT	N/A	N/A
ENT SIGN	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL	PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 47421 DELAWARE LICENSE No. 17111. FLORIDA LICENSE No. 73277 NEW YORK LICENSE No. 088514-1	L/C: 029-0328	NOTES AND REFERENCE) S		C- '	102	
CES	BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER ENGINEERING NJ, LLC	CONNECTICUT LICENSE No. 26039 PENNSYLVANIA LICENSE No. 077366	CAD FILE: J180406-CDS-0F	SΠΕΕΙ					



		ZONING	G TAB	SLE			REF						
	Z	ONE: C3 (COMMUNITY JSE: DRIVE-THRU RES BLOCK [,] 268	COMMERCIAL) STAURANT (PER	DISTRICT RMITTED)		1	SUE						
4	APPLICA	NT/ OWN		FORMATIC	N	1	S			_			
A	PPLICANT:		11	McDONALD'S CORPORATI	ON REET		B∕						
				CHICAGO, IL 60607		-							
PROP	ERTY OWNER:			151 IRVING PLACE WOODMERE, NY 11598									
	BU	ILK REQ	UIREM	IENTS									
ITEM MIN. LOT AREA	COD § 220 ATTACH	E PEF		EXISTING ± 39.90 AC ¹	PROPOSED NO CHANGE	-							
MIN. LOT FRONTAGE	§ 220 ATTACH	HMENT 9	400'	± 1,770' ¹	NO CHANGE	-	TION						
MIN. LOT WIDTH MIN. LOT DEPTH	§ 220 ATTACH	HMENT 9 HMENT 9	400' 450'	± 1,630 ⁻⁺ ±1,020 ⁻¹	NO CHANGE NO CHANGE	-	CRIP.						
MIN. FRONT YARD	§ 220 ATTACH	HMENT 9	75'	68.3' ² (E) 753.1' (NORTH) ²	76.5' ² 764.8' (NORTH) ²	-	DES						
MIN. SIDE YARD (EACH) § 220 ATTACH § 220 ATTACH	HMENT 9	50'	1,005.8' (SOUTH) ² 881.5' ²	1,002.7' (SOUTH) ² 887.1' ²	-							
MAX. BUILDING HEIGHT MAX. BUILDING	§ 220 ATTACH	HMENT 9	35'	19.6' ²	18.8' ²	-							
COVERAGE MAX. IMPERVIOUS	§ 220 ATTACH	HMENT 9	60%	±71.4% (± 28.5 AC) (E) ¹	±71.2% (± 28.42 AC) (V) ⁴								
MAX. FLOOR AREA RAT	TIO § 220 ATTACH	HMENT 9	0.30	±0.171 (± 296,800 SF) ¹	±0.170 (± 295,527 SF) ³					-			
KEY = (V) - VARIANCE, (¹ DIMENSION APPROXIN PLAN" PREPARED BY B	E) - EXISTING NON-C MATED FOR OVERALL OHLER ENGINEERING	ONFORMITY - SHOPPING CENTER 3. P.C. DATED 08/22/20	BASED ON "SITE 005 LAST REVISI	E/GRADING/LANDSCAPE		ĺ	DATE						
"SURVEY OF PROPERT 01/31/1997 LAST REVISE ² DIMENSION PROVIDE	Y BLOCK 268 LOTS 55 ED 03/18/1997. D IS FOR EXISTING AI	5-57, 59-62, 65 & 80" PF	REPARED BY CM NALD'S RESTAU	NE ASSOCIATES DATED	VARIANCE REQUIRED					_			
³ McDONALD'S RESTAU PROPOSED). CALCULA ⁴ PROPOSED IMPROVE	IRANT DECREASED B TION REFLECTS IMPF MENTS FOR McDONA	UILDING FOOTPRINT ROVEMENTS TO McDC LD'S RESTAURANT D	BY 1,273 SF (5,5 NALD'S RESTAU ECREASES IMPE	93 SF EXISTING, 4,320 SF URANT ONLY. ERVIOUS COVERAGE BY			REV						
3,528 SF (0.081 AC.). CA			D McDONALD'S F			<u>]</u>]							
ITEM	CODE			EIVIEN IS'	PROPOSE	D	RS						
IN. STALL SIZE	§ 220-97	10' X 20' 22' (ONE-WAY -	2 2 2	9.0' X 15.3' (E)	9' X 18' (V)		ATUF						
	§ 220-169	60° ANGLE PARKING)		17.7' (E)	22'		lign,						
N. AISLE WIDTH	§ 220-97	20' (ONE-WAY - NO PARKING) 25' (TWO-WAY- NO		11.9' (E)	15' (V)		AN S						
	§ 220-97 § 220-97	PARKING) 25' (TWO-WAY- 90°		N/A N/A	25'		L PL						
DADING REQUIREMENTS	§ 220-98	0 SPACES ²		1 SPACE	0 SPACES				Ē	ا ن	C	2	
N. LOADING SIZE	§ 220-98	63 SPACES ³	15.7' (W)) X 55.6' (L) X >14' (H)	N/A	<u>, </u>	Ľ		<u>م</u> .	Ū.	Č	5	
N. NUMBER OF STALLS	§ 220-97	20 SPACES ⁴ 2 SPACES ⁶		63 SPACES	43 SPACES			\Box		:)			
N. NUMBER ADA SPACES	STANDARDS	(INCLUDING 1 VAN SPACE)	3 SPACES (IN	NCLUDING 1 VAN SPACE)	2 SPACES (INCLUDING 1	VAN SPACE)	Ι,	$\underline{\mathbb{C}}$	R				
OR EVERY BUILDING OVER & ROPOSED BUILDING IS LESS REQUIRED: 1 SPACE PER 1.5 APACITY REQUIRES 6 SPACE 67 SEATS * (1 SPACE / 1.5 SE 3 WINDOWS * (6 SPACE / WIN TOTAL SPACES REC REQUIRED: 4.5 SPACES PER R GREATER. THIS PARKING C DR EACH OF THE INDIVIDUAL 320 SF * (4.5 SPACES / 1,000 SE FOR OVERALL SHOPPING CE	5,000 SF OF BUILDING THAN 5,000 SF IN ARI SEATS PLUS DRIVE- S PER WINDOW. EATS) = 45 SPACES IDOW) = 18 SPACES QUIRED: 63 SPACES QUIRED: 63 SPACES 1,000 SF FLOOR ARE. RITERIA SUPERSEDI . USES FOUND DUE T SF) = 20 SPACES REC NTER:	AREA, AT LEAST ONE EA, 0 SPACES REQUIF THRU RESERVOIR CAI A FOR SHOPPING CEN ES THE INDIVIDUAL P/ O THE SHARED USE A QUIRED	E LOADING SPAC RED. PACITY. DRIVE T NTERS OF 200,00 ARKING SPACE (SPECT.	CE SHALL BE PROVIDED. THRU- RESERVOIR 00 GROSS FLOOR AREA CRITERIA REQUIRED	VARIANCE REQU	IRED		C 9			THEIR WRITTEN PERMISSION.	D EXECUTION TEAM	NN STREET
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SIDE BY SIDE DRIVE-THRU STANDARD A

1. SIDE BY SIDE DRIVE-THRU STANDARD A CURBING DETAILS:

- 1A DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0". 12' & 10' SHOWN, COMPLIES
- 1B THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0" TO INSIDE OF CURB. 20.5' SHOWN, COMPLIES
- 1C PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).COMPLIES
- THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45'. THE LENGTH OF THE ISLAND FROM THE DT CANOPY/SPEAKER ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT. 40' SHOWN, COMPLIES
- 1E THE ISLAND WIDTH SHOULD BE 6'-0" MIN. FROM FACE OF CURB TO FACE OF CURB (AT THE WIDEST POINT). 6' SHOWN, COMPLIES
- 1F THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6". 1.5' (1'-6") SHOWN, COMPLIES
- 2. SIDE BY SIDE DRIVE-THRU STANDARD A PAVEMENT MARKINGS:
- 2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. COMPLIES
- 2B DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE. COMPLIES
- 2C MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH DT CANOPY/SPEAKER SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE. 9' & 8' SHOWN, COMPLIES
- 2D THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU". COMPLIES
- 2E THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS. 40' SHOWN, COMPLIES
- 3. SIDE BY SIDE DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR PRIMARY LANE:
- 3A MIN. 60'-0" (+5', 60'-65') LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE DT CANOPY/SPEAKER AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (±5' FOR 80', 100' AND 120') TO A MAX. OF 120'. 100'-0" IS OPTIMAL. 115' SHOWN, COMPLIES
- 3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-6" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION, WITH THE END CAP OF THE PRIMARY MENU BOARD 15" PREFERRED BUT NOT LESS THAN 12" FROM FACE OF CURB. 5.75' (5'-9") & 1.5' SHOWN, COMPLIES
- 3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° ANGLE (35° PREFERRED) FROM A VEHICLE POSITIONED AT THE DT CANOPY/SPEAKER AND WITH 100% VISIBILITY. 35° SHOWN, COMPLIES
- 3D AUGER "McDONALD'S ORDER HERE" DT CANOPY/SPEAKER FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- 3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB. COMPLIES
- 3F AUGER "MCDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- **3G** THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY DT CANOPY/SPEAKER MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE. 15' SHOWN, COMPLIES
- **3H** THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY DT CANOPY/SPEAKER. COMPLIES
- 4. SIDE BY SIDE DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR SECONDARY LANE: 4A TO POSITION THE SECONDARY DT CANOPY/SPEAKER, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY CANOPY, 14' AND 2' (24") SHOWN, COMPLIES
- 4B WHEN THE SECONDARY DT CANOPY/SPEAKER IS LOCATED 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE DT CANOPY/SPEAKER CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY DT CANOPY/SPEAKER WHEN POSSIBLE. COMPLIES
- 4C THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-6" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION, WITH THE END CAP OF THE SECONDARY MENU BOARD 15" PREFERRED BUT NOT LESS THAN 12" FROM FACE OF CURB. 5.75' (5'-9") & 1.5' SHOWN, COMPLIES
- AUGER "MCDONALD'S ORDER HERE" DT CANOPY/SPEAKER FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- 4E THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE DT CANOPY/SPEAKER AND WITH 100% VISIBILITY. 25° SHOWN, COMPLIES
- **4F** "ANY LANE, ANY TIME" BOLLARD SIGN MUST BE A MIN. OF 1'-6" FROM FACE OF CURB AT THE BEGINNING OF THE LANDSCAPE ISLAND. BOLLARD SIGN IS TO BE ORIENTED AT AN ANGLE OF 90° FROM THE CURB. 1.5' (1'-6") SHOWN, COMPLIES

5. SIDE BY SIDE DRIVE-THRU STANDARD A DETECTOR LOOP:

5A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENT BOOTHS. COMPLIES

SIDE BY SIDE DRIVE-THRU STANDARD 1.0 FEATURES:

- 1. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 EQUIPMENT:
- PRE-BROWSE BOARD MUST BE 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY DT CANOPY/SPEAKER AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM THE DT CANOPY/SPEAKER. 1.5' (18"), 15' & 50° SHOWN, COMPLIES
- PRE-BROWSE BOARD MUST BE 12" FROM FACE OF CURB (18" PREFERRED). THE DISTANCE BETWEEN THE SECONDARY DT CANOPY/SPEAKER AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM THE DT CANOPY/SPEAKER (APPROXIMATELY 35°). 1.5' (18"), 15' & 35° SHOWN, COMPLIES

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RPOSES OI	NLY	80	BLOCK 2	268; L	OTS 62 & 80			L MGR. GR.	NNS DEPT.		TOR	
) BE UTILI D SEDIME	IZED FOR SOIL INT CONTROL		PROPOSED	SITE I	AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED A: CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERW MPROVEMENTS	A SE.						
NT FILTER TUBE	ст	- PROP. CO	MPACTION TEST		ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVA	PLA	SIGNA ⁻			CO-SIG		
FENCE PORARY BLOCK		- PROP. TEI	VPORARY CONSTRUCTION ACCESS	l		N APPR	TURE (N SIGN.		
OF DISTURBANCE						OVALS	2 REQU			ATURE		
		- PROP TFI	MPORARY STOCKPILE	l			IRED)			S		
/ F	EGEND			l								
ER POLLUTION P ONSTRUCTION ACTI O LOGGING ACTI	PREVENTION PLAN (SWPPP) CTIVITIES. CONTRACTOR IS IVITIES (MINIMUM ONCE PEF	IN COMPLIA S RESPONSI R WEEK AND	NCE WITH EPA REQUIREMENTS FOR S BLE TO ENSURE THAT ALL ACTIVITIES, AFTER RAINFALL EVENTS) AND CORP	3ITES WH , INCLUDII RECTIVE №	ERE ONE (1) ACRE OR MORE (UNLESS NG THOSE OF SUBCONTRACTORS, ARE /IEASURES, AS APPROPRIATE.		DATE					
										OFF	ADC	
S.F. OR OTHER APPF OR OTHER APPROVI	ROVED SEEDS; PLANT BETWEE /ED SEED; PLANT BETWEEN MAY	N FEBRUARY Y 1 AND SEPTI	15 AND MAY 1 OR BETWEEN AUGUST 15 AN EMBER 1.	ID OCTOBE	R 15.		\geq				DRESS	
BY ONE OF THE FOL	LLOWING METHODS:								THES 4			
ALLY SO THAT AT LE	EAST 85% OF THE SOIL SURFAC	CE IS COVERE	D. FOR UNIFORM DISTRIBUTION OF HAND-SI		ILCH, DIVIDE AREA INTO APPROXIMATELY		2	5)	SE PLANS AND SHAL			
R TO STANDARD FO	OR MANAGEMENT OF HIGH ACID		SUILS.						AND SPE L NOT BE			
ND SUPPLY CALCIU ACTICAL TO A DEPT JNTIL A REASONABL	JM AND MAGNESIUM TO GRASSI TH OF 4 INCHES WITH A DISC, S BLE UNIFORM SEEDBED IS PREP ACTED, THE AREA MUST BE RE	ES AND LEGU SPRINGTOOTH ARED. TILLED IN ACC	MES. I HARROW, OR OTHER SUITABLE EQUIPMEN	JT. THE FIN	AL HARROWING OR DISKING OPERATION				CIFICATIC REPROD	NORTH		CTANE
SOIL TEST RECOMM PLIED AT THE RATE NE AT THE RATE OF	MENDATIONS SUCH AS OFFEREI E OF 500 POUNDS PER ACRE OR F 2 TONS/ACRE UNLESS SOIL TE	D BY RUTGER 11 POUNDS F STING INDICA	S CO-OPERATIVE EXTENSION. SOIL SAMPLE 'ER 1,000 SQUARE FEET OF 10-20-10 OR EQU ITES OTHERWISE. CALCIUM CARBONATE IS	E MAILERS UIVALENT V THE EQUIN	ARE AVAILABLE FROM THE LOCAL RUTGERS MITH 50% WATER INSOLUBLE NITROGEN ALENT AND STANDARD FOR MEASURING THE		C	5	NS ARE '	HEAST F	695 E	
ES SUCH AS DIVERS CARIFIED 6" TO 12"	SIONS, GRADE STABILIZATION S " WHERE THERE HAS BEEN SOIL	TRUCTURES, COMPACTIO	CHANNEL STABILIZATION MEASURES, SEDIN N. THIS PRACTICE IS PERMISSIBLE ONLY WH	MENT BASI HERE THEF	NS, AND WATERWAYS. RE IS NO DANGER TO UNDERGROUND				THE PROF THOUT TI		E. MAIN	T DRQD1
NU MULCHING:	PMENT FOR SEEDBED PREPARA	TION, SEEDIN	IG, MULCH APPLICATION, AND MULCH ANCH	ioring. Al	L GRADING SHOULD BE DONE IN			5)	PERTY OF HEIR WRI	XECUTI	STREE	1 (203)
						'	6		F McDON. ITTEN PE	ION TE/	 	359 - 92
POUNDS/ACRE (OR A OR PLASTIC, MAY B MENT BY	ACCORDING TO THE MANUFACT BE USED.	TURER'S REQI	JIREMENTS) MAY BE APPLIED BY A HYOROS	SEEOER.				シ	ALD'S US RMISSIO	AM		738
ONS/ACRE IS SPRE BINDERS. OR NETTII DER SUITABLE CONE	EAD UNIFORMLY AT 90 TO 115 P ING TIE DOWN. OTHER SUITABLI DITIONS AND IN QUANTITIES AS	OUNDS/1,000 E MATERIALS RECOMMEND	SF FOR NON-GROWING SEASON STABILIZAT MAY BE USED IF APPROVED BY THE SOIL C(DED BY THE MANUFACTURER.	TION OR 70 ONSERVA) TO 90 POUNDS/1,00 SF FOR SEEDING AND FION DISTRICT.				A, LLC 4.			
000 S.F. S.F. S.F.							Y	2				
00 S.F.						F		ר. ש	ש ׁ כֿ	Ĵ		
ЗҮ						-INAL		2	 ن <u>د</u>	<u>о</u>		
ALLY SO THAT AT LE	LEAST 85% OF THE SOIL SURFAC	CE IS COVERE	ED. FOR UNIFORM DISTRIBUTION OF HAND-S	SPREAD MU	JLCH, DIVIDE AREA INTO APPROXIMATELY	PLAN (
IED AT THE RATE C	OF 1-1/2 TO 2 TONS PER ACRE (7	WITH A MININ 70 TO 90 POUN R-BLOWERS M	NUM OF 12 INCHES OF SOIL HAVING A PH OF		CRIMPER IS USED INSTEAD OF A LIQUID	SIGNA						
ITH 50% WATER INS DURING SEEDBED F RACTICAL TO A DEP FIL A REASONABLE	SOLUBLE NITROGEN UNLESS A S PREPARATION AND REPEAT AN PTH OF 4 INCHES WITH A DISC, S UNIFORM SEEDBED IS PREPAR	SOIL TEST IND IOTHER ONE-I SPRING-TOOT	ICATES OTHERWISE AND INCORPORATED I HALF RATE APPLICATION OF THE SAME FER TH HARROW, OR OTHER SUITABLE EQUIPME	INTO THE S TILIZER W	SURFACE 4 INCHES. IF FERTILIZER IS NOT ITHIN 3 TO 5 WEEKS AFTER SEEDING. NAL HARROWING OR DISKING OPERATION	TURES						
SOUCH AS DIVERSION PSOIL WHICH HAS BE RS COOPERATIVE F	BEEN SPREAD AND FIRMED, ACC	OCTURES, CH ORDING TO S AES.RUTGERS	OIL TEST RECOMMENDATIONS SUCH AS OF	FERED BY	, AND WATERWAYS. RUTGERS CO-OPERATIVE EXTENSION E RATE OF 500 POUNDS PER ACRE OF 11			<u></u>				
E SUBSOIL SHALL B O WORK WITHOUT D ICE WITH THE STAN	BE EVALUATED FOR COMPACTIC DAMAGING THE SOIL STRUCTUR NDARD FOR TOPSOILING.		DANCE WITH THE STANDARD FOR LAND GRA	ADING . INSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL	REV						
ND MULCHING: ENTIONAL EQUIPME	ENT FOR SEEDBED PREPARATIC	DN, SEEDING.	MULCH APPLICATION, AND MULCH ANCHOR	RING. ALL G	RADING SHOULD BE DONE IN ACCORDANCE	DATE						
ING CURBING, UNDE LUDING SEEDING AI FROM THE FREEHO	ERGROUND UTILITIES, ETC. (3 V AND LANDSCAPING. (2 WEEKS) DLD SOIL CONSERVATION DISTR	VEEKS) SICT. (1 DAY)										
ROSION SEDIMENT () OTHER SITE STRU REAS REQUIRING EX	CONTROL MEASURES, INCLUDI JCTURES. (2 WEEKS) XCAVATION. (3 WEEKS)	NG DOWN SLO	OPE PERIMETER FILTER SOCK AND SILT FE	NCING. (1 [DAY)							
. CERTIFICATION OF A E WITH SOIL EROSION MENTATION THAT MA	A NEW SOIL EROSION AND SEDIME N AND SEDIMENT CONTROL NOTE # AY OCCUR BELOW STORMWATER (#6. DUTFALLS OR (STOCKPILES NO	HE PROJEC	A GREATER THAN 5,000 SQUARE FEET IS DISTURBE	ESCRIF						
L BE SPRINKLED UNT	ING ALL DEWATERING OPERATION	S TO MINIMIZE	SEDIMENT TRANSFER. ANY DEWATERING METH	HODS USED	MUST BE IN ACCORDANCE WITH THE STANDARD F	OR ST NOL						
SOIL CONDITIONS AN E TO BE EMPLOYED. RODUCING SOILS, AN H A MINIMUM OF 12" C ALLS PRIOR TO THE D	AND RENDER IT SUITABLE FOR V NY SOIL HAVING A PH OF 4 OR LES OF SETTLED SOIL WITH A PH OF 5 0 DRAINAGE SYSTEM BECOMING OPI	EGETATIVE GR S OR CONTAIN OR MORE, OR 2 ERATIONAI	KOUND COVER. IF THE REMOVAL OR TREATM IING IRON SULFIDES SHALL BE ULTIMATELY PL/ 4" WHERE TREES OR SHRUBS ARE TO BE PLAN	IENT OF TH ACED OR B	HE SUIL WILL NOT PROVIDE SUITABLE CONDITIO	NS, 10						
NCH TO TWO INCH (1" DISTURBANCE OR ON REAS WITHIN TEN (10) IZATION IS GOING TO	12 STORE FOR A MINIMUM LENG NTO PUBLIC RIGHT-OF-WAYS WILL I DIDAYS AFTER FINAL GRADING. DE ACCOMPLISHED, ANY SOIL TH	GTH OF TEN FE BE REMOVED II	. FT (1) EQUAL TO THE LOT ENTRANCE WIDTH. / MMEDIATELY.	ALL OTHER	ACCESS POINTS SHALL BE BLOCKED OFF.	ED						
CRITICAL AREAS SUB. E WITH STATE STAND RADING AND INSTALI NG. STALLATION OF A BAD	BJECT TO EROSION (I.E. SOIL STOC DARDS. LLATION OF IMPROVEMENTS TO ST D OF CLEAN CRUSHED STONE AT 1	CKPILES, STEEL	SLOPES AND ROADWAY EMBANKMENTS) WILL ETS, ROADS, DRIVEWAYS, AND PARKING AREAS E TRAEFIC WILL BE ACCESSING THE CONSTRUCT THE CONSTRUCTION OF THE	L RECEIVE	TEMPORARY SEEDING IN COMBINATION WITH STR S WHERE NO UTILITIES ARE PRESENT, THE SUB-BA	AW D SE						
NCE HAS BEEN ISSU THEREOF IS IN SATI 0) DAYS, AND NOT SI LENT MATERIAL, AT A	UED. UPON WRITTEN REQUEST I ISFACTORY COMPLIANCE WITH T SUBJECT TO CONSTRUCTION TRAF A RATE OF 2 TO 2 ½ TONS PER ACR	FROM THE AP HE SEQUENCE FFIC, WILL IMMI E, ACCORDING	PLICANT, THE DISTRICT MAY ISSUE A REPOR OF DEVELOPMENT AND TEMPORARY MEASU EDIATELY RECEIVE A TEMPORARY SEEDING. IF TO THE STANDARD FOR STABILIZATION WITH M	RT OF COI IRES FOR S F THE SEAS MULCH ONL	MPLIANCE WITH CONDITIONS ON A LOT-BY-LOT SOIL EROSION AND SEDIMENT CONTROL HAVE BE ON PREVENTS THE ESTABLISHMENT OF TEMPORA Y.							
ED PRIOR TO SOIL DIS PLANS WILL REQUIRE BE ISSUED BEFORE	ISTURBANCE, OR IN THEIR PROPER E THE SUBMISSION OF REVISED SC THE DISTRICT DETERMINES THAT	R SEQUENCE, A DIL EROSION AI	ND MAINTAINED UNTIL PERMANENT PROTECTION ND SEDIMENT CONTROL PLANS TO THE DISTRIC R PORTION THEREOF IS IN FULL COMPLIANCE	ON IS ESTAE CT FOR RE-	BLISHED. CERTIFICATION. THE DEVISED PLANS MUST MEET . CERTIFIED PLAN AND STANDARDS FOR SOIL EROS							
IGHT (48) HOURS IN AI ED PRIOR TO SOIL DIS PLANS WILL REQUIRE	ADVANCE OF ANY SOIL DISTURBING ISTURBANCE, OR IN THEIR PROPER E THE SUBMISSION OF REVISED SC	G ACTIVITY. R SEQUENCE, A DIL EROSION AI	AND MAINTAINED UNTIL PERMANENT PROTECTIC ND SEDIMENT CONTROL PLANS TO THE DISTRIC	ON IS ESTAI CT FOR RE-	BLISHED. CERTIFICATION. THE DEVISED PLANS MUST MEET	JE REF						

SOIL TYPE/TEXTURE	BULK DENSITY _{G/CC}
COARSE, MEDIUM AND FINE SANDS AND LOAMY SANDS	1.80
VERY FINE SAND AND LOAMY VERY FINE SAND	1.77
SANDY LOAM	1.75
LOAM, SANDY CLAY LOAM	1.70
CLAY LOAM	1.65
SANDY CLAY	1.60
SILT, SILT LOAM	1.55
SILTY CLAY LOAM	1.50
SILTY CLAY	1.45
CLAY	1.40

IS PLAN ARE ED FOR ANY IFROM BOHLER D PLANS SHALL SES	CHITECT S00126900	L/C: 029-0328	LANDSCA	PE PLAN		C-	70	1		
G.COM A28161700	OLA	COU MONMOUTI REGIONAL DWG, NO	NTY H COUNTY PLAN DES	CRIPTION	PLAN AS-BL	CHECKEI	D 01/2	22/21 N/A	A. N/	JL /A
J, LLC		PROPOSED SITE BLOCK 268; L STREET A 78 U.S. F CITY TOWNSHIP OF MAR	IMPROVEMENT	s state NJ	S ⁻ PRELI	REGIONAL MGR. CONST. MGR.	OPERATIONS DEPT.	ATE	B CONTRACTOR	D/ D/
APING WORK, THE OWNER IS WATERING, AND TRIMMING OF ALL GRASS, ORNAMENTAL PLANTS DING ALL LANDSCAPE ISLANDS SPONSIBILITY INCLUDES, BUT IS CIC MUST BE MAINTAINED TO ASSURE HT OF 7 FT. (FROM ALL PEDESTRIAN HE TYPICAL PATH OF TRAVEL. NDSCAPE PLAN, ARE TO BE TRIMMED ED SURFACES), OR AS OTHERWISE AND GRASSES MUST BE TRIMMED SO E GRADE (OF ALL PAVED, TRAVEL AND INGRESS-EGRESS WAYS. ARE TO BE REMOVED IMMEDIATELY TRIPPING, SLIPPING OR ANY OTHER STHE LANDSCAPE CONTRACTOR IS	THIS PLAN IS TO BE ALL DISTURBED UN THE LANDSCAPE SF ALL PROPOSED LAN MULCH OVER WATE SHRUBS PLANTED A FACE OF CURB TO A PLANT MATERIAL \$ ENGINEER AND LAN THAT IS TO BE INST WITHOUT EXCEPTIO INCLUDE RAIN GARI	UTILIZED FOR LANDSCAPE PURPOSES ONLY. IPAVED AREAS, EXCLUDING PLANTING BEDS, ARE PECIFICATION #2.C., UNLESS OTHERWISE STATED O NDSCAPE BEDS ARE TO BE TREATED WITH A 3" THIC R PERMEABLE WEED BARRIER FABRIC, UNLESS OTH ALONG HEAD-IN PARKING STALLS ARE TO BE INSTAINALLOW FOR BUMPER OVERHANG. SUBSTITUTIONS MUST BE FORMALLY SUBMITTED IDSCAPE CONSULTANTS FOR REVIEW AND APPROV ALLED WITHIN STORMWATER BMP FEATURES MUST ON, WEED BARRIER FABRIC SHALL NOT BE INSTAIN DENS, INFILTRATION TRENCHES, VEGETATIVE SWALL DENS, INFILTRATION TRENCHES, VEGETATIVE SWALL DENS DENS, INFILTRATION TRENCHES, VEGETATIVE SWALL DENS DENS DENS DENS DENS DENS DENS DENS	TO BE INSTALLED AS LAWN N THIS PLAN. K LAYER OF DOUBLE SHREE HERWISE STATED ON THIS F LLED TO ALLOW A CLEARAN TO BOHLER ENGINEERING (AL PRIOR TO INSTALLATION T BE NATIVE SPECIES. ALLED WITHIN ANY BMP FA LES AND STORMWATER BAS ISSUED FOR AGENCY REVIEW AND APPRO CONSTRUCTION DOCUMENT U	IN ACCORDANCE WITH DED HARDWOOD BARK PLAN. ICE OF TWO FEET FROM G AND THE MUNICIPAL A. ANY PLANT MATERIAL CILITY. BMP FACILITIES INS. MUNICIPAL & W & APPROVAL ED FOR MUNICIPAL AND/OR VAL. IT IS NOT INTENDED AS A INLESS INDICATED OTHERWISE	PLAN APPROVALS	SIGNATURE (2 REQUIRED) DATE		CO-SIGN SIGNATURES		
ITHY, BALLED AND BURLAPPED, TREE-FARM SPEC FERRED TO ABOVE AND IN SUBSECTION <u>A(3)</u> SHA FINED IN THE PLANTING SPECIFICATION ADOPTED ONSIBILITIES		AND PROPOSED UTILITIES. TREES HAVE NOT WITHIN THE SHADE TREE RIGHT-OF-WAY DUE OVERHEAD WIRES.	PE NOTES:					OFFICE	ADDRESS	
D ON THE LAND USE APPROVAL PLAN AS PARKING TING ZONES SHALL BE SUITABLY GRADED AND LAN O OTHER SUITABLE PLANTS IN A MANNER MOST CO ETIC CONSIDERATIONS OF THIS ARTICLE. ITED ALONG ALL ROADS, DRIVES AND PARKING AF E TREE SHALL BE REQUIRED FOR EACH 50 FEET O O AN AVERAGE DISTANCE OF 50 FEET APART, NOT ROM A LINE THAT IS DIRECTLY UNDER ANY UTILIT BE PLANTED IN THE SHADE TREE RIGHT-OF-WAY DEWALK ON THE INTERIOR OR DWELLING SIDE THI TO 2 1/2 INCHES CALIPER, MEASURED AT A HEIGHT	B, BUILDINGS OR NDSCAPED WITH OMPATIBLE TO REAS IN OF FRONTAGE OR LESS THAN 35 LESS THAN 35 Y LINES AND Y, WHICH IS THE EREOF. SHADE T OF SIX INCHES	SITE CONSTRAINTS. LANDSCAPING HAS BEEN PROPOSED THROUG WHERE ALLOWABLE. TOTAL FRONTAGE ALONG N.J.S.H. ROUTE 9: 1 REQUIRED: 181 LF / 50 = 3.6 OR 4 TREES PROPOSED: 4 TREES (4 ASC) TREES HAVE BEEN PROPOSED AT 50 FEET ON ALLOWABLE AND A MINIMUM OF 10 FEET AWA	SHOUT THE SITE 81 LF N CENTER WHERE NY FROM ALL EXISTING	COMPLIES		100	THESE PLANS AND SPECIFI AND SHALL NOT BF RF	Ž		0.
CIDUOUS TREES (EITHER RETAINED OR PLANTED FULLY MATURE A TRUNK AT LEAST 12 INCHES IN I APTABLE TO A PARKING LOT FOR SHADING. ING A CIRCULAR AREA HAVING A RADIUS OF 15 FE MUST BE SUFFICIENT TREES SO THAT, USING THIS	BY THE DIAMETER. NEW ET WITH THE S STANDARD, 35%	SHADE TREES HAVE BEEN PROVIDED WITHIN WHERE ALLOWABLE. -(REFER TO LANDSCAPE SCHEDULE FOR TRE TOTAL PARKING AREA: 13,185 SF REQUIRED: 13,185 SF X 35% = 4,614.7 SF TOTAL SHADED PARKING AREA: 1,360.8 SF (10 LESS THAN 35% OF THE PARKING AREA WILL	PARKING AREAS E SPECIES.)- 0.3%) BE SHADED DUE TO	COMPLIES			CATIONS ARE THE PROP PRODUCED WITHOUT TH	ORTHEAST FIELD EX	695 E. MAIN S	FAMFORD, CT 06901
EVENT DAMAGE TO PLANT MATERIAL FROM VEHIC . TREE AS DEFINED IN THE PLANTING SPECIFICATI BE PLANTED FOR EVERY FIVE PARKING PLACES. S IN ANY LANDSCAPED AREAS COMBINED WITH SH PAVEMENT FOR A DIAMETER OF NOT LESS THAN S OF ANY EXISTING TREE TO BE RETAINED WHICH IS	ON ADOPTED BY THESE SHALL BE IRUBBERY. THE SEVEN FEET. NO S 10 INCHES OR	TOTAL PARKING SPACES: 43 REQUIRED: 43 / 5 = 8.6 OR 9 TREES PROPOSED: 9 TREES (5 GTIN, 4 TXAR) TREES HAVE BEEN LEFT FREE OF PAVEMENT FEET WHERE ALLOWABLE.	FOR A DIAMETER OF 7	COMPLIES		To a	FERTY OF McDON		STREET	(203) 359 - 92
TRUCTURE AND SHALL BE SUBJECT TO THE APPR S OF THIS SUBSECTION SHALL BE IN ADDITION TO ARKING BUFFER ZONES AND SHADE TREES IN THE SUCH AREA OR 1,000 SQUARE FEET WITHIN EACH 1 WITH PLANTING MATERIAL REASONABLY DISTRIB HIS AREA SHALL NOT BE CONSIDERED AS FULFILLI REQUIREMENTS OF THIS ARTICLE AS SET FORTH II SHALL BE LOCATED IN PROTECTED AREAS, SUCH / OF BAYS OR IN DIAMONDS BETWEEN STALLS. SUC	OVAL OF THE THE E SHADE TREE UTED IN THE ING THE N SUBSECTION AS ALONG CH PROTECTED	LANDSCAPING HAS BEEN PROVIDED THROUG WHERE ALLOWABLE. FOUNDATIONS PLANTIN PROVIDED. TOTAL PARKING AREA: 13,185 SF REQUIRED: 13,185 SF X 10% = 1,318.5 SF PROPOSED: 3,600 SF OF LANDSCAPING (27.3%	HOUT THE SITE GS HAVE NOT BEEN	COMPLIES			ALD'S USA, LLC RMISSION.	W		38
CALIPER OF TWO INCHES, MEASURED ONE FOOT A OF 10 FEET TO 14 FEET AFTER PLANTING. THE TRE RLBORO TOWNSHIP SHADE TREE COMMISSION, T SINEER AND SHALL BE PLANTED IN A MANNER WHI T CHANCES OF SURVIVAL. ON THE LAND USE APPROVAL PLAN SHALL BE RES OISTRIBUTED WITHIN THE AREA, AND WHICH SHA NG BEDS NOT LESS THAN THREE FEET WIDE ON TH CH FOUNDATION PLANTINGS SHALL BE OF SUITABL	ABOVE THE EES SHALL BE OF THE PLANNING ICH WILL GIVE SERVED FOR ALL INCLUDE HE FRONT, SIDES LE SIZE IN	SHADE TREES HAVE BEEN PROPOSED AT A M IN CALIPER, MEASURED 1 FOOT ABOVE GRAD -(REFER TO LANDSCAPE SCHEDULE FOR TRE SIZES.)- TOTAL LOT COVERAGE (MCDONALDS): 58,128. REQUIRED: 58,128.2 SF X 25% = 14,532.1 SF PROPOSED: 16,564 SF (28.5%)	IINIMUM OF 2.5 INCHES E. E SPECIES AND 2 SF	COMPLIES	FINA	B.M.	0.C.	0/0		
, WELL-BRANCHED, BAGGED AND BURLAPPED, WIT PART AND FOUR FEET FROM THE SIDEWALK IN TH TREES SHALL BE PLANTED 11 FEET INSIDE THE R ISE DESIGNATED BY THE PLANNING BOARD.	TH GOOD ROOTS, HE FRONT LAWN RIGHT-OF-WAY	SITE DOES NOT ABUT A RESIDENTIAL PROPER	RTY AREA.	NOT APPICABLE	L PLAN SIGNA					
TS AND LOADING AND UNLOADING AREAS MAY BE AL, PROVIDED THAT NOT MORE THAN 25% OF THE VERGREEN AND DECIDUOUS TREES AND SHRUBS E MONOTONY OF THE FENCE. SUCH LANDSCAPING IG BOARD THAT THE TYPE OF FENCE TO BE EREC	CONSTRUCTED FENCE IS OPEN SHALL BE G MAY BE TED IS VISUALLY	SCREEN PLANTINGS HAVE BEEN PROVIDED A OF THE PARKING AREA ABUTTING N.J.S.H. RO SCREEN PLANTINGS ALONG THE SOUTHERN A PROPERTY LINES ARE TO REMAIN.	LONG THE PERIMETER UTE 9. EXISTING AND EASTERN	COMPLIES	TURES					
DUSTRIAL, PUBLIC AND SEMIPUBLIC BUILDINGS AN S, TREES, SHRUBS AND OTHER LANDSCAPE MATE VEHICLES OR A LOADING AND UNLOADING AREA LANTED BUFFER SCREEN SHALL BE PROVIDED BE Y. THE BUFFER SCREEN SHALL BE NO LESS THAN	ID USE AREAS RIALS. ADJOINS AN ETWEEN THE SIX FEET IN	LANDSCAPING HAS BEEN PROPOSED THROUG WHERE ALLOWABLE. SITE DOES NOT ABUT A RESIDENTIAL PROPER	GHOUT THE SITE	COMPLIES NOT APPLICABLE	REV					
SCREEN SHALL BE MEASURED IN RELATION TO THE EA OR STRUCTURE TO BE BUFFERED. WHERE THE CREEN IS TO BE PLANTED IS LESS THAN THE ELE ED, THE REQUIRED HEIGHT OF THE SCREEN SHALL ELEVATION. IN THE EVENT THAT THE GROUND ELE ANTED IS GREATER THAN THAT AT THE EDGE OF IT OF THE SCREEN MAY BE REDUCED IN AN AMOU HAT IN NO CASE SHALL THE REQUIRED HEIGHT BE	HE ELEVATION OF E GROUND VATION AT THE L BE INCREASED EVATION OF THE THE ADJACENT INT EQUAL TO E REDUCED TO	AN EVERGREEN SCREEN WITH A MINIMUM HE BEEN PROVIDED WHERE A PARKING AREA AB	EIGHT OF 3 FEET HAS UTS N.J.S.H. ROUTE 9.	COMPLIES	DATE					
INUOUS LANDSCAPING SCREEN SHALL BE PLANT IST OF LAWN, MASSED EVERGREEN AND DECIDUC /ILL PROVIDE WITHIN TWO GROWING SEASONS A L COURSE OF THE YEAR. THE INTENSE DENSITY O BOARD IF IT IS FOUND THAT THE PROPOSED USE I PPEARANCE OF THE NEIGHBORING USES.	ED AND DUS TREES AND SOLID AND DF THE BUFFER IS VISUALLY	REQUIRED: 43 / 10 = 4.3 OR 5 SHADE TREES PROPOSED: 9 SHADE TREES (5 ZSM, 4 TXAR) SCREEN PLANTINGS HAVE BEEN PROVIDED A OF THE PARKING AREA ABUTTING N.J.S.H. RO SCREEN PLANTINGS ALONG THE SOUTHERN A PROPERTY LINES ARE TO REMAIN.	LONG THE PERIMETER UTE 9. EXISTING AND EASTERN	COMPLIES	DESCRI					
HICLES SHALL CONTAIN GRASSED OR LANDSCAPE ATING ROWS OF PARKING SPACES IN ACCORDAN AS SHALL BE SPREAD THROUGHOUT THE PARKING Y THE PLANNING BOARD AND SHALL OCCUPY A TER OF THE PAVED PARKING AREA. THE ISLAND A & EACH 10 PARKING SPACES IN THE PARKING ARE/ CAPING PLAN APPROVED BY THE PLANNING BOAR	ED ISLAND ICE WITH THE G AREA IN INIMUM OF 10% IREAS SHALL A AND SHALL BE ID.	TOTAL PARKING SPACES: 43 TOTAL PARKING AREA: 13,185 SF REQUIRED: 13,185 SF X 10% = 1,318.5 SF PROPOSED: 3,600 SF OF LANDSCAPING (27.3% A MINIMUM OF ONE SHADE TREE HAS BEEN P EACH PROPOSED LANDSCAPE ISLAND. TOTAL PARKING SPACES: 43	6) ROVIDED WITHIN	COMPLIES	PTION					
USTRIAL ZONES OR USES. USTRIAL DISTRICTS. ALL PARKING AREAS FOR 10 ES AND SHADE TREES OF A TYPE AND QUANTITY /	OR MORE APPROVED BY	TOTAL PARKING SPACES: 43 LANDSCAPING HAS BEEN PROPOSED THROUG WHERE ALLOWABLE.	GHOUT THE SITE	COMPLIES						
KING SPACE SHALL BE PROVIDED AS FURTHER SP CESSARY PASSAGEWAYS AND DRIVEWAYS. ALL SI N THE LOT ON WHICH IT IS SITUATED, AND NO SUC MANNER. ALL PARKING AREAS, PASSAGEWAYS AN TH THE DESIGN SPECIFICATIONS OF THE SUBDIVIS OF ATTRACTIVE TREES, SHRUBS, PLANTS AND GI DANCE WITH THE SITE PLANS. SPECIAL BUFFER PL DPERTY LINES SO AS TO PROVIDE PROTECTION TO	PECIFIED IN THIS UCH SPACE CH SPACE SHALL ID DRIVEWAYS SION PROVISIONS RASS LAWNS LANTING SHALL D AD.IACENT	LANDSCAPING HAS BEEN PROPOSED THROUG WHERE ALLOWABLE. SCREEN PLANTINGS HAT ALONG THE PERIMETER OF PARKING AREAS.	GHOUT THE SITE VE BEEN PROVIDED	COMPLIES	BY ISSUE					
	CHAR			COMPLIANCE	REF					

L	AND	SC	4 <i>PE</i>	SP	ECI	FIC	AT	ION	S

- SCOPE OF WOR THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- A. GENERAL ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE MOST CURRENT VERSION OF THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS. B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT OF NOT LESS THAN 5% BY WEIGHT AND A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF ALL DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS. C. LAWN - ALL DISTURBED AREAS ARE TO BE COVERED WITH A MINIMUM 5" THICK LAYER OF TOPSOIL AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT
- STABILIZATION METHODS INDICATED WITHIN THE SEEDING SPECIFICATION ON THE APPROVED SOIL EROSION PLAN. a LAWN SEED MIXTURE SHALL BE FRESH CLEAN NEW CROP SEED
- b. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS OF AT LEAST 3/". SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD THE SOD IN PLACE. D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE SPECIFIED OR DEPICTED ON
- THE LANDSCAPE PLAN. E. FERTILIZER
- a. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT. ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE. b. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE AS SPECIFIED OR, AS A MINIMUM, 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE PURCHASED OR APPLIED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER. F. PLANT MATERIAL
- a. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN). b. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL
- PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER BOTANICAL NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION. d. TREES WITH ABRASION OF THE BARK. SUN SCALDS. DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE
- REJECTED, PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. e. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL EXHIBIT NORMAL GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS
- ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE. f. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE
- SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- GENERAL WORK PROCEDURES: THE CONTRACTOR SHALL UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF. B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- SITE PREPARATIONS BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH HE GENERAL WORK PROCEDURES OUTLINED HEREIN. B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK THE CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN. SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR THE DURATION OF THE PROJECT AND WARRANTY
- PERIOD FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. THE CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE. C. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF N.J.S.A. 48:2-74, et seq., THE UNDERGROUND UTILITY PROTECTION ACT. IN PARTICULAR, THE CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL
- TREE PROTECTION A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
- B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON WOOD/STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY
- OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE
- SOIL MODIFICATIONS CONTRACTOR SHALL OBTAIN A SOIL TEST FOR ALL AREAS OF THE SITE AND SUBMIT THE SAME TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
- B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN OR DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER, IN WRITING, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS. C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED
- DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY. D. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5
- E. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL SYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE F. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- FINISHED GRADING A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
- B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT A PROPER SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"+) C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS. TOPSOIL ING A. CONTRACTOR SHALL PROVIDE A 5" THICK MINIMUM LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM
- LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS B. ON-SITE TOPSOIL MAY, UPON THE PROVISION OF A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE SUBMISSION TO AND APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER, BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND
- NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION. D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF
- IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA): a 20 POUNDS 'GROW POWER' OR APPROVED FOUAL b. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
- E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
- PLANTING A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE. B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE
- WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
- E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS MAKING NECESSARY ADJUSTMENTS AS DIRECTED F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
- a. PLANTS: MARCH 15 TO DECEMBER 15 b. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1 PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR
- SHOULD CONTACT APPROVING AGENCY, LANDSCAPE ARCHITECT AND/OR ENGINEER FOR POTENTIAL SUBSTITUTIONS G FURTHERMORE THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS RECOMMENDED THAT THESE SPECIES NOT BE PLANTED DURING THE FALL PLANTING SEASON: ACER RUBRUM PLATANUS X ACERIFOLIA POPULUS VARIETIES BETULA VARIETIES CARPINUS VARIETIES PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIETIES QUERCUS VARIETIES KOELREUTERIA LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY. a 1 PART PEAT MOSS b. 1 PART COMPOSTED COW MANURE BY VOLUME 3 PARTS TOPSOIL BY VOLUME 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS: 2 TABLETS PER 1 GALLON PLANT 3 TABLETS PER 5 GALLON PLANT 4 TABLETS PER 15 GALLON PLANT LARGER PLANTS: 2 TABLETS PER ¹/₂" CALIPER OF TRUNK I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY. J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL. K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE L. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION. M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, PERENNIALS/ANNUALS SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN TRANSPLANTING (WHEN REQUIRED A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30 D. UPON REPLANTING. BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE . TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN. F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED AT THE OWNER'S REQUEST OR IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES. A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT REQUIRED TO ENSURE THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES. C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH. GUARANTEE A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 2 YEARS FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE LANDSCAPE ARCHITECT AND/OR ENGINEER AND THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE. B. ANY DEAD OR DVING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE WITHOUT EXCEPTION
- C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

PART PEAT MOSS 1 PART COW MANURE 3 PARTS TOPSOIL

				LUMINAIR	E SCHEDU	LE			
SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	COLOR TEMP.	
¢	7	В	22'	HUBBELL LIGHTING RATIO 2 SERIES LED AREA LIGHT	SINGLE	15,180	0.900	5000K	
	2	C2@180	22'	HUBBELL LIGHTING RATIO 2 SERIES LED AREA LIGHT	BACK-TO-BACK	15,525 (X2)	0.900	5000K	
6	13	L2	9.3' & 11' (SEE PLAN)	SECURITY LIGHTING RADIUS SERIES LED WALL SCONCE	SINGLE	1,565	0.900	5000K	
	6	LE2	18.5'	SECURITY LIGHTING HIRAF SERIES LINEAR LED FACADE LIGHT	SINGLE	546	0.900	4000K	
	4	LE4	18.5'	SECURITY LIGHTING HIRAF SERIES LINEAR LED FACADE LIGHT	SINGLE	1,291	0.900	4000K	
NOTE: ANY EXIST	ING STREET	AND SITE ARE	A LIGHTS HAVE NO	T BEEN MODELED FOR THIS DESIGN.				·	

018)J180406\DRAWINGS\CURRENT DRAWINGS\S\TE PLAN PACKAGE\J180406-CDS-0F----->LAYOUT: C-903 DET|

3\J180406\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J180406-CDS-0F----->LAYOUT: C-905

