

PRELIMINARY & FINAL SITE PLANS

FOR



PROPOSED

McDONALD'S RESTAURANT WITH DRIVE-THRU

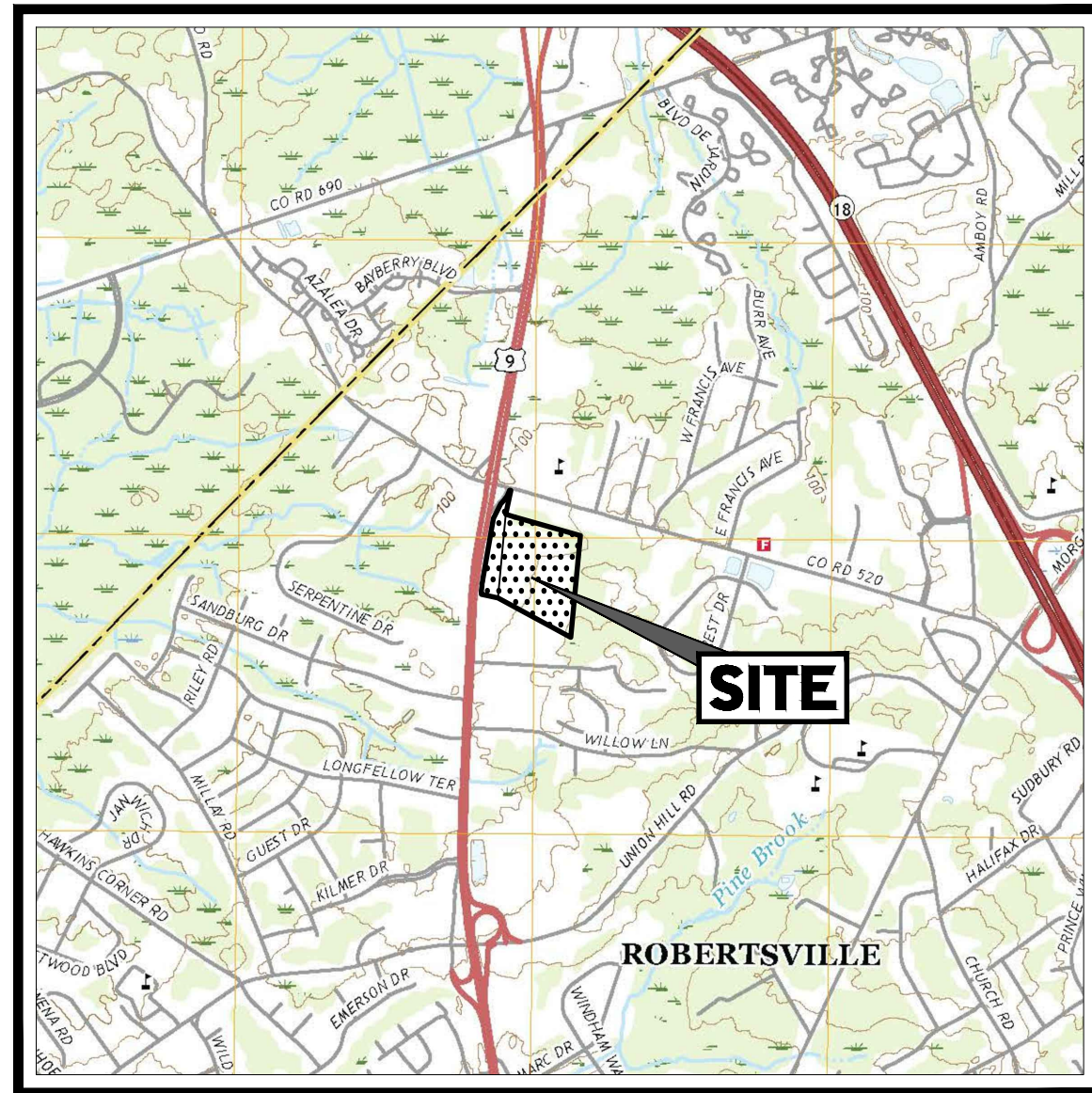
78 U.S. ROUTE 9

BLOCK 268, LOTS 62 & 80

TOWNSHIP OF MARLBORO

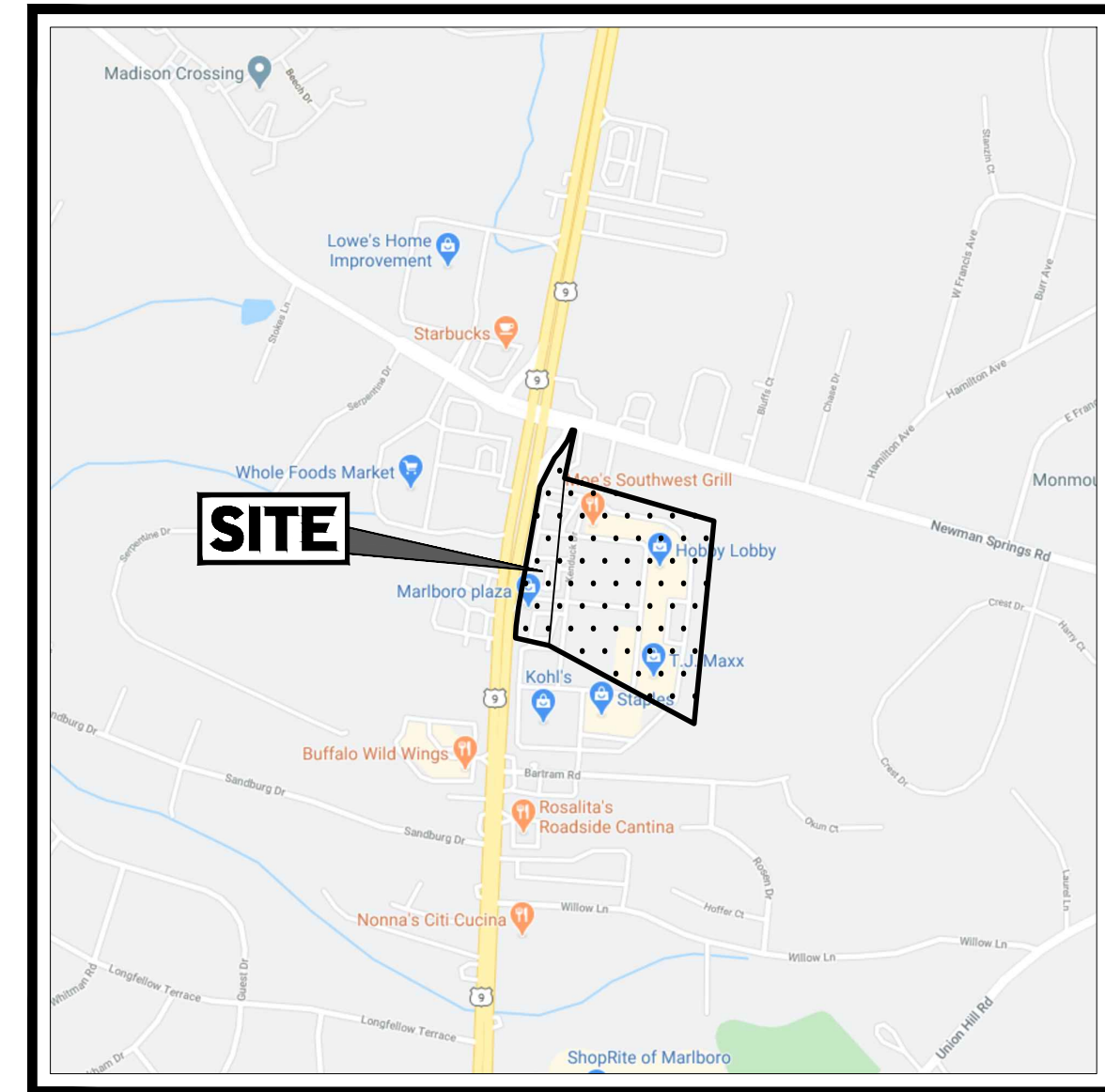
MONMOUTH COUNTY, NEW JERSEY

C3 (COMMUNITY COMMERCIAL) DISTRICT; TAX MAP SHEET #79



USGS MAP

SCALE: 1" = 2,000'
SOURCE: UNITED STATES GEOLOGICAL SURVEY MAPS



KEY MAP

SCALE: 1" = 1,000'
SOURCE: GOOGLE MAPS

DRAWING SHEET INDEX

SHEET TITLE	NUMBER
COVER SHEET	C-101
NOTES AND REFERENCES SHEET	C-102
DEMOLITION & TREE REMOVAL PLAN	C-201
SITE LAYOUT PLAN	C-301
DRIVE-THRU LAYOUT PLAN	C-302
GRADING PLAN	C-401
ADA GRADING PLAN	C-402
DRAINAGE PLAN	C-403
UTILITY PLAN	C-501
SOIL EROSION & SEDIMENT CONTROL PLAN	C-601
SOIL EROSION CONTROL NOTES & DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES & DETAIL SHEET	C-702
LIGHTING PLAN	C-703
DETAIL SHEET	C-901
DETAIL SHEET	C-902
DETAIL SHEET	C-903
DETAIL SHEET	C-904
DETAIL SHEET	C-905
DETAIL SHEET	C-906
BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY (BY OTHERS)	1 OF 1

PROPERTY OWNERS LIST

WITHIN 200' RADIUS CERTIFIED BY RENEE FROTTON, TAX ASSESSOR DETAIL JULY 23, 2020

BLOCK	LOT	QUAL	OWNER	BLOCK	LOT	QUAL	OWNER
176	34.01		TO BANK 100-280 WELINGTON ST. LONDON, ON N6A 4S4 CANADA	268.01	45		SOYDAL, DONNA 2 BARTRAM ROAD ENGLISHTOWN, NJ 07726
308	56		KAUFMAN & BLASSERUN & ORANGE 131 BRING PLACE WOODMERE, NJ 11598	268.01	46		SOYDAL, CHRIS 2 BARTRAM ROAD ENGLISHTOWN, NJ 07726
308	57		KAUFMAN & BLASSERUN & ORANGE 131 BRING PLACE WOODMERE, NJ 11598	268.01	47		SOYDAL, CHRIS & DONNA 7 BARTRAM ROAD ENGLISHTOWN, NJ 07726
308	58		WG 137 ROUTE 5 LLC 1110 SOUTH AVENUE SOUTH BAY, NJ 08154	270	9.01		MARLBORO COMMERCIAL PHARMACY LLC 420 ROULEVARD, SUITE 203 MOUNTAIN LAKE, NJ 07046
308	63		ATLANTIS REALTY ASSOC. LLC 105 CHAMADOR DRIVE TOMES RIVER, NJ 08754	270	10.01		MARLBORO COMMERCIAL BANK LLC 420 ROULEVARD, SUITE 203 MOUNTAIN LAKE, NJ 07046
308	64		FRATCH, JOHN & AUDREY 28 ROUTE 100 ENGLISHTOWN, NJ 07726	270	11.01		MARLBORO COMMERCIAL LLC 420 ROULEVARD, SUITE 203 MOUNTAIN LAKE, NJ 07046
308.01	43	C0301	HEALTH ASSOC. C/O FRESHOLD RADIOLOGY 1001 W MAIN ST SUITE C FRESHOLD, NJ 07728	270	12.01		FILKO REALTY, L.L.C. 27-A BERRY ROAD WARWICK, NJ 10890
308.01	43	C0302	METERMAN COMMERCIAL PROPERTIES LLC 178 ROUTE 9 NORTH ENGLISHTOWN, NJ 07726	270	13		COLUMBIA BANK 2940 ROUTE 208 NORTH FAIR LAWN, NJ 07410
308.01	43	C0303	HEALTH ASSOC. C/O FRESHOLD RADIOLOGY 1001 W MAIN ST SUITE C FRESHOLD, NJ 07728	270	14		MARLBORO MOTOR LOOSE INC. PO BOX 808 MANALAPAN, NJ 07726
308.01	43	C0304	METERMAN COMMERCIAL PROPERTIES LLC 178 ROUTE 9 NORTH ENGLISHTOWN, NJ 07726	270	15-09		WFO P MARLBORO 3919 TOWNSHIP DRIVE MARLBORO, NJ 07746
308.01	43	C0305	METERMAN COMMERCIAL PROPERTIES LLC 178 ROUTE 9 NORTH ENGLISHTOWN, NJ 07726	270	16		BEVER BROS. LLC PO BOX 650 MANALAPAN, NJ 07726
308.01	44		MARLBORO SQUARE L.L.C. C/O BONARDIS 9 CLAYTON ROAD ENGLISHTOWN, NJ 07726				

ALSO TO BE NOTIFIED:

MONMOUTH COUNTY PLANNING BOARD
PO BOX 1255
TOWNSHIP FALLS, NJ 07733
FRESHOLD, NJ 07728

N.J. L.A.
ATTENTION: KATHY LEATHERMAN
253 ERIE ROAD
ENGLISHTOWN, NJ 07726

MARLBORO TOWNSHIP WATER UTILITY
2970 TOWNSHIP DRIVE
MARLBORO, NJ 07746

MONMOUTH COUNTY WATER UTILITY
37 WANDERSBURG ROAD
MARLBORO, NJ 07746

NJ NATURAL GAS COMPANY
ATTENTION: FRANK GRAY
1432 WYCKOFF ROAD
WALL, NJ 07736

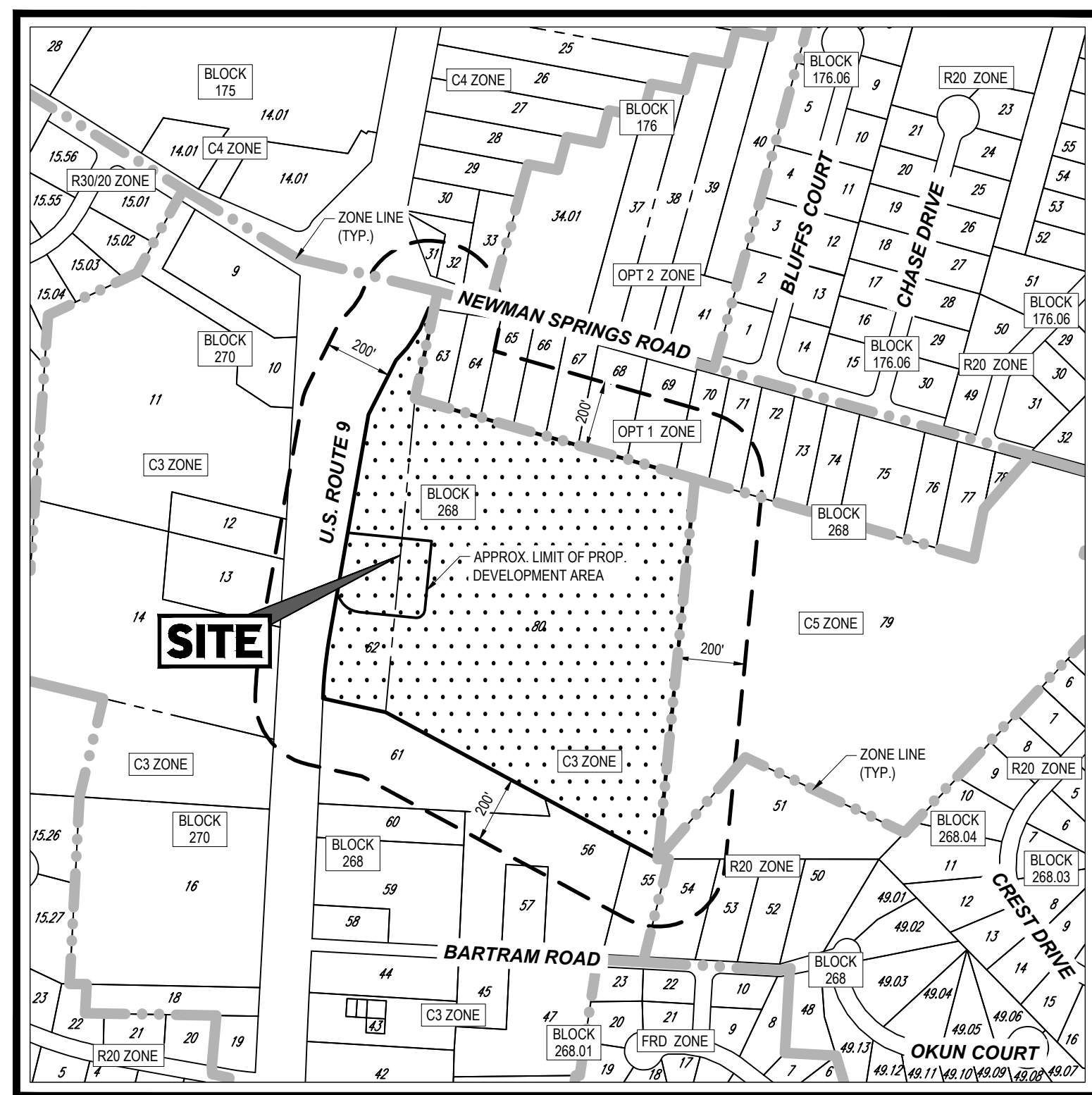
CAREVISION OF MONMOUTH
89 FINE STREET
TOWNSHIP FALLS, NJ 07733

VERION NEW JERSEY INC
788 WINDSOR ROAD
NEPTUNE, NJ 07753

NEW JERSEY CENTRAL POWER AND LIGHT COMPANY
330 CHAMBERS CORNER ROAD
MOUNTAIN LAKE, NJ 07046

STATE OF NEW JERSEY DEPARTMENT OF TRANSPORTATION
100 DANIELS WAY
FRESHOLD, NJ 07728

MONMOUTH COUNTY DEPARTMENT OF TRANSPORTATION
CENTER STREET & HAZELWOOD ROAD
FRESHOLD, NJ 07728



TAX MAP

SCALE: 1" = 400'
SOURCE: GIS PARCEL DATA MAP



AERIAL MAP

SCALE: 1" = 400'
SOURCE: NJGIN INFORMATION WAREHOUSE

OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF BLOCK 268, LOTS 62 & 80 AND
CONSENT TO THE FILING OF THIS APPLICATION.

[Signature]
MARLBORO PLAZA ASSOCIATES, LLC & UNIONDALE WG LLC DATE

PREPARED BY

BOHLER



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WARREN, NJ 07059
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Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 246A28181700

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DELAWARE LICENSE NO. 17111
FLORIDA LICENSE NO. 73277
NEW YORK LICENSE NO. 0885141
CONNECTICUT LICENSE NO. 26039
PENNSYLVANIA LICENSE NO. 077366

APPROVAL BLOCK

TOWNSHIP OF MARLBORO BOARD APPROVAL
APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MARLBORO, NJ.

CHAIRMAN	DATE
SECRETARY	DATE
TOWNSHIP ENGINEER	DATE

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROPOSED SITE IMPROVEMENTS
BLOCK 268; LOTS 62 & 80

STREET ADDRESS
78 U.S. ROUTE 9

CITY STATE
TOWNSHIP OF MARLBORO NJ

COUNTY
MONMOUTH COUNTY

REGIONAL DWG. NO. PLAN DESCRIPTION
L/C: 029-0328 COVER SHEET

REV	DATE	DESCRIPTION	BY	ISSUE REF.

FINAL PLAN SIGNATURES		PLAN APPROVALS	
P.M.	G.C.	DATE	DATE
O/O			

McDonald's

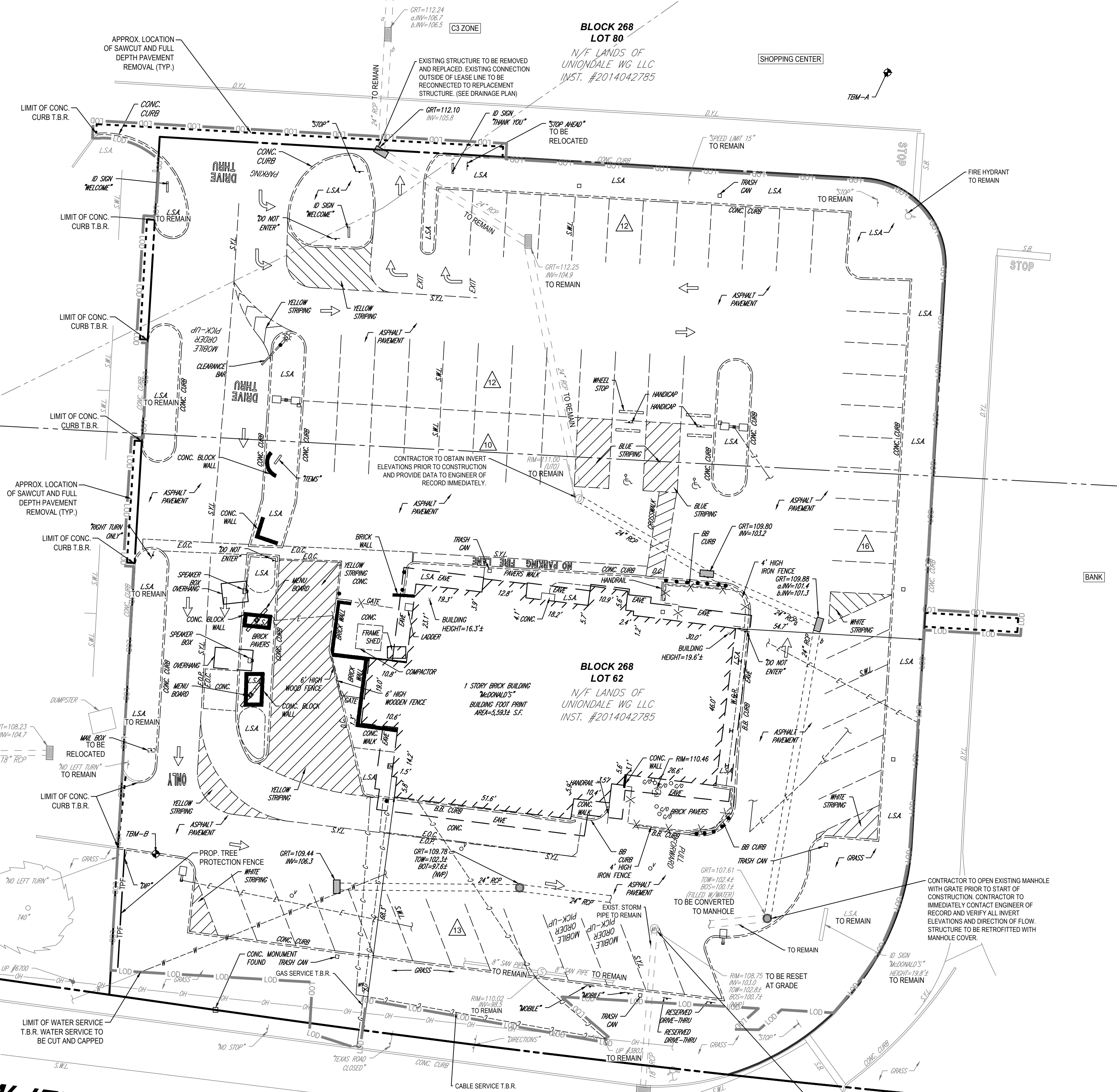
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NORTHEAST FIELD EXECUTION TEAM
695 E. MAIN STREET
STAMFORD, CT 06901 (203) 359-9238

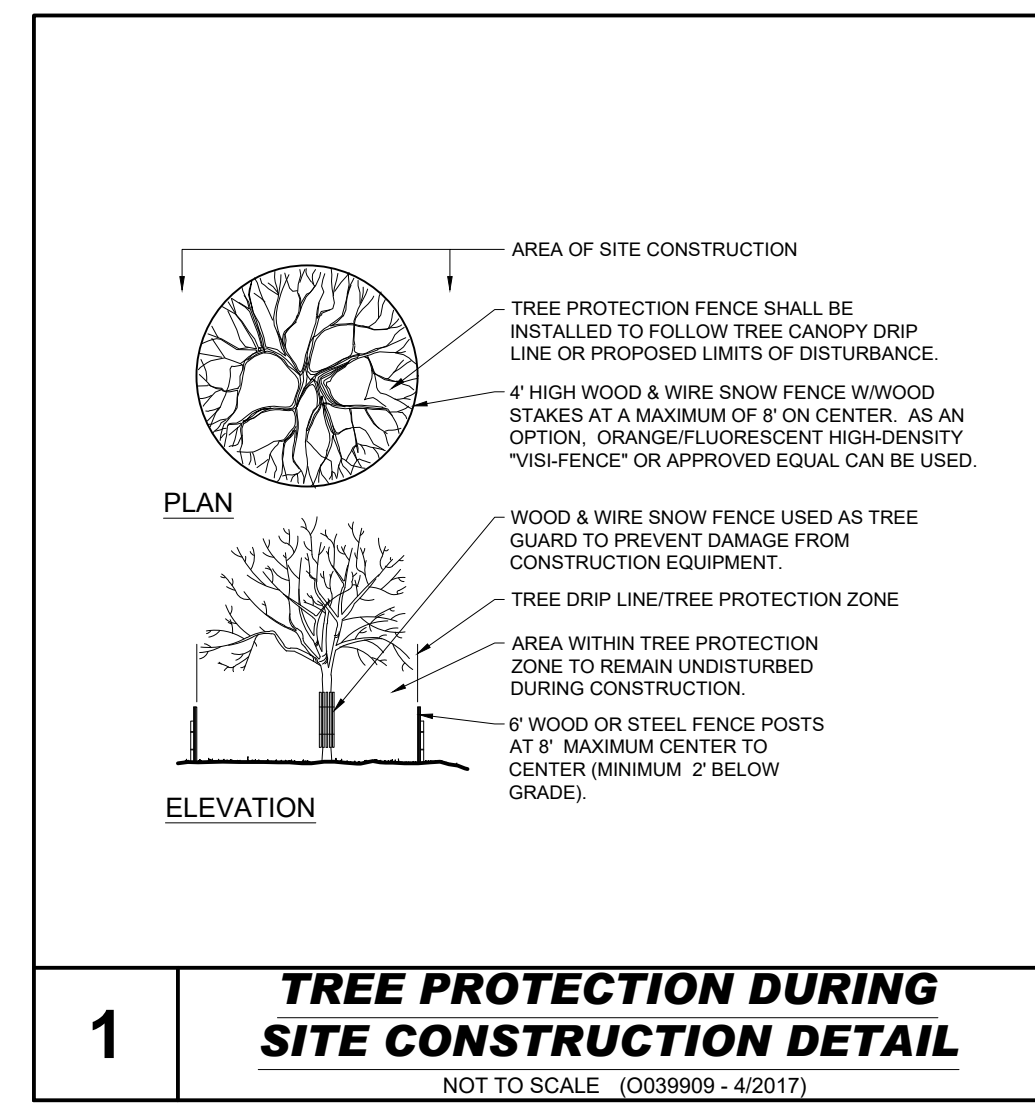
STATUS	DATE	BY
PRELIMINARY	01/22/21	RND
PLAN CHECKED	01/22/21	AJL
AS-BUILT	N/A	N/A

REGIONAL MGR. OPERATIONS DEPT. REAL ESTATE DEPT. CONTRACTOR OWNER

C-101



NEW JERSEY STATE HIGHWAY ROUTE U.S. NO. 9
 (VARIABLE WIDTH PUBLIC RIGHT OF WAY)
 (ASPHALT ROADWAY)
 (TWO WAY TRAFFIC)
 (POSTED SPEED LIMIT: 55 MPH)



1 TREE PROTECTION DURING SITE CONSTRUCTION DETAIL
 NOT TO SCALE (0038908-4/2017)

CONTRACTOR TO REMOVE ALL SEDIMENT AND DEBRIS FROM EXISTING STORM INLETS AND MANHOLES PRIOR TO CONSTRUCTION. CONTRACTOR TO RECORD AND VERIFY ALL INVERT ELEVATIONS AND DIRECTION OF FLOW PRIOR TO START OF CONSTRUCTION AND IMMEDIATELY NOTIFY AND PROVIDE DATA TO ENGINEER OF RECORD IMMEDIATELY.

TREE REMOVAL NOT INCLUDED AS PART OF PROPOSED IMPROVEMENT. EXISTING TREES DO NOT EXIST WITHIN LIMIT OF DISTURBANCE.

REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN FOR SOIL EROSION NOTES AND MEASURES.

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY WITH LOCATION OF UTILITIES.

ALL EXISTING ON-SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE ARE TO BE REMOVED UNLESS OTHERWISE NOTED. ALL EXISTING FEATURES OUTSIDE LIMIT OF DISTURBANCE ARE TO REMAIN UNLESS OTHERWISE NOTED.

T.B.R. = FEATURE TO BE REMOVED

ALL EXISTING FEATURES IN R.O.W. ARE TO REMAIN UNLESS OTHERWISE NOTED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL
 THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT ATTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROPOSED SITE IMPROVEMENTS	
BLOCK 268; LOTS 62 & 80	
STREET ADDRESS	
78 U.S. ROUTE 9	
CITY	STATE
TOWNSHIP OF MARLBORO	NJ
COUNTY	
MONMOUTH COUNTY	
REGIONAL DWG. NO	PLAN DESCRIPTION
L/C: 029-0328	DEMOLITION & TREE REMOVAL PLAN

ISSUE REF	BY	DESCRIPTION	DATE	REV	FINAL PLAN SIGNATURES
					P.M. _____ G.C. _____ O/O _____
McDonald's					
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NORTHEAST FIELD EXECUTION TEAM 695 E. MAIN STREET STAMFORD, CT 06901 (203) 359-9238					
DATE	DATE	DATE	DATE	DATE	DATE
PLAN APPROVALS	CO-SIGN SIGNATURES	REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.
SIGNATURE (2 REQUIRED)					
STATUS	DATE	BY	STATUS	DATE	BY
PRELIMINARY	01/22/21	RND	PLAN CHECKED	01/22/21	AJL
AS-BUILT	N/A	N/A	CONTRACTOR OWNER		
C-201					

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 www.BohlerEngineering.com
 NJ CERT. OF AUTHORIZATION NO. 24GA28181700

G:\01\160406\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\160406-SPP-F-...LAYOUT: C-201.DWG



SIDE BY SIDE DRIVE-THRU STANDARD A

1. SIDE BY SIDE DRIVE-THRU STANDARD A CURBING DETAILS:

- 1A DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0". 12' & 10' SHOWN, COMPLIES
- 1B THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0" TO INSIDE OF CURB. 20.5' SHOWN, COMPLIES
- 1C PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER). COMPLIES
- 1D THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45'. THE LENGTH OF THE ISLAND FROM THE DT CANOPY/SPEAKER ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT. 40' SHOWN, COMPLIES
- 1E THE ISLAND WIDTH SHOULD BE 6'-0" MIN. FROM FACE OF CURB TO FACE OF CURB (AT THE WIDEST POINT). 6' SHOWN, COMPLIES
- 1F THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6". 1.5' (1'-6") SHOWN, COMPLIES

2. SIDE BY SIDE DRIVE-THRU STANDARD A PAVEMENT MARKINGS:

- 2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. COMPLIES
- 2B DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE. COMPLIES
- 2C MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH DT CANOPY/SPEAKER SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE. 9' & 8' SHOWN, COMPLIES
- 2D THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU". COMPLIES
- 2E THE 8" YELLOW STRIPE IS TO BE PLACED 45'-0" FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS. 40' SHOWN, COMPLIES

3. SIDE BY SIDE DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR PRIMARY LANE:

- 3A MIN. 60'-0" (+5', 60'-65') LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE DT CANOPY/SPEAKER AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (45' FOR 80', 100' AND 120') TO A MAX. OF 120'. 100'-0" IS OPTIMAL. 115' SHOWN, COMPLIES
- 3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-6" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. WITH THE END CAP OF THE PRIMARY MENU BOARD 15" PREFERRED BUT NOT LESS THAN 12" FROM FACE OF CURB. 5.75' (5'-9") & 1.5' SHOWN, COMPLIES
- 3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° ANGLE (35° PREFERRED) FROM A VEHICLE POSITIONED AT THE DT CANOPY/SPEAKER AND WITH 100% VISIBILITY. 35° SHOWN, COMPLIES
- 3D AUGER "MCDONALD'S ORDER HERE" DT CANOPY/SPEAKER FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- 3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB. COMPLIES
- 3F AUGER "MCDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- 3G THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY DT CANOPY/SPEAKER MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE. 15' SHOWN, COMPLIES
- 3H THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY DT CANOPY/SPEAKER. COMPLIES

4. SIDE BY SIDE DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR SECONDARY LANE:

- 4A TO POSITION THE SECONDARY DT CANOPY/SPEAKER, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY CANOPY. 14' AND 2' (24") SHOWN, COMPLIES
- 4B WHEN THE SECONDARY DT CANOPY/SPEAKER IS LOCATED 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE DT CANOPY/SPEAKER CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY DT CANOPY/SPEAKER WHEN POSSIBLE. COMPLIES
- 4C THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-6" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. WITH THE END CAP OF THE SECONDARY MENU BOARD 15" PREFERRED BUT NOT LESS THAN 12" FROM FACE OF CURB. 5.75' (5'-9") & 1.5' SHOWN, COMPLIES
- 4D AUGER "MCDONALD'S ORDER HERE" DT CANOPY/SPEAKER FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- 4E THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE DT CANOPY/SPEAKER AND WITH 100% VISIBILITY. 25° SHOWN, COMPLIES
- 4F "ANY LANE, ANY TIME" BOLLARD SIGN MUST BE A MIN. OF 1'-6" FROM FACE OF CURB AT THE BEGINNING OF THE LANDSCAPE ISLAND. BOLLARD SIGN IS TO BE ORIENTED AT AN ANGLE OF 90° FROM THE CURB. 1.5' (1'-6") SHOWN, COMPLIES

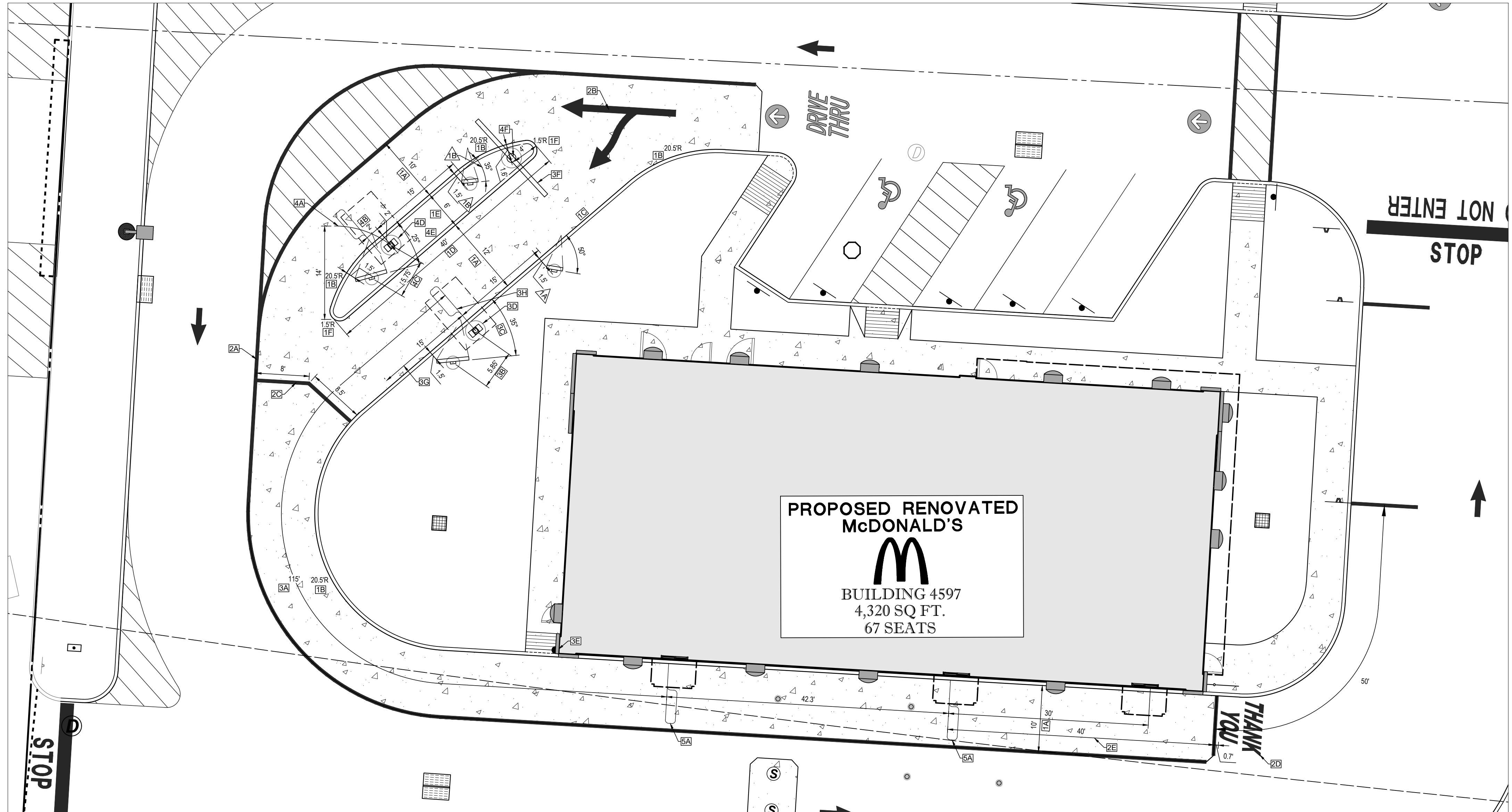
5. SIDE BY SIDE DRIVE-THRU STANDARD A DETECTOR LOOP:

- 5A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENT BOOTHS. COMPLIES

SIDE BY SIDE DRIVE-THRU STANDARD 1.0 FEATURES:

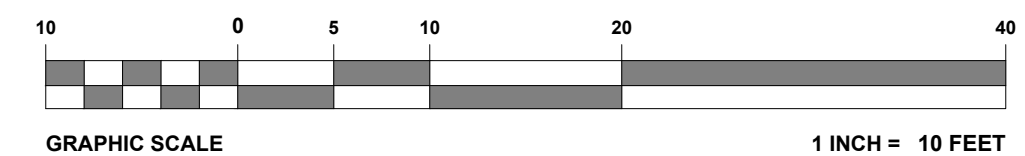
1. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 EQUIPMENT:

- 1A PRE-BROWSE BOARD MUST BE 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY DT CANOPY/SPEAKER AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM THE DT CANOPY/SPEAKER. 1.5' (18"), 15' & 50' SHOWN, COMPLIES
- 1B PRE-BROWSE BOARD MUST BE 12" FROM FACE OF CURB (18" PREFERRED). THE DISTANCE BETWEEN THE SECONDARY DT CANOPY/SPEAKER AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM THE DT CANOPY/SPEAKER (APPROXIMATELY 35°). 1.5' (18"), 15' & 35' SHOWN, COMPLIES



REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



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CITY	STATE
TOWNSHIP OF MARLBORO	NJ
COUNTY	
MONMOUTH COUNTY	
REGIONAL DWG. NO	PLAN DESCRIPTION
L/C: 029-0328	DRIVE-THRU LAYOUT PLAN

ISSUE REF	BY	DESCRIPTION	DATE	REV

FINAL PLAN SIGNATURES

P.M. _____ G.C. _____ O/O _____

McDonald's

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NORTHEAST FIELD EXECUTION TEAM
695 E. MAIN STREET
STAMFORD, CT 06901 (203) 359-9238

PLAN APPROVALS		DATE
REGIONAL MGR.	SIGNATURE (2 REQUIRED)	
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR OWNER		
CO-SIGN SIGNATURES		
STATUS	DATE	BY
PRELIMINARY	01/22/21	RND
PLAN CHECKED	01/22/21	AJL
AS-BUILT	N/A	N/A

C-302

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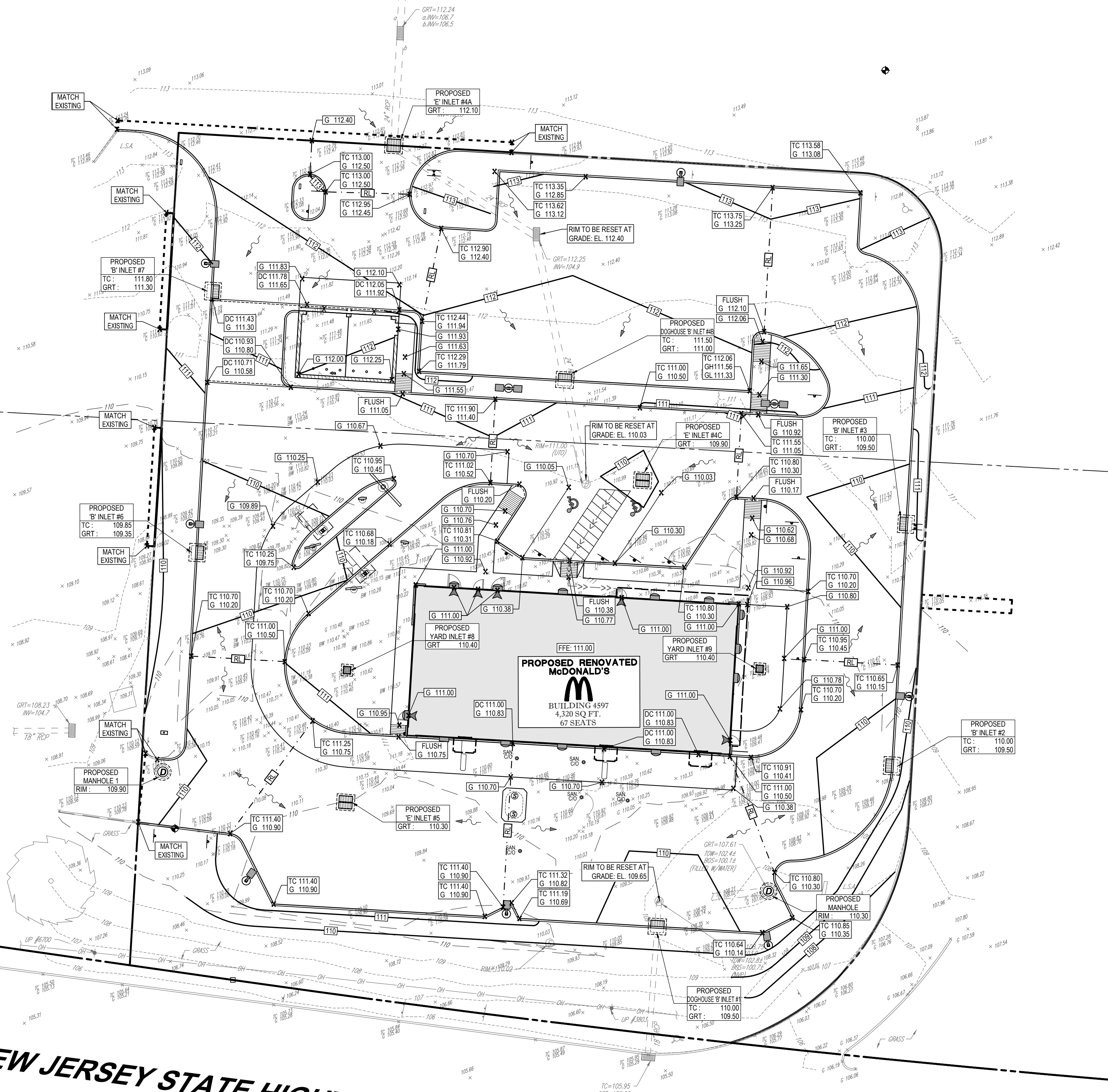
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CONNECTICUT LICENSE No. 26039
PENNSYLVANIA LICENSE No. 077366

G:\01\11600\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\116006-SPP.dwg - LAYOUT: C-302-DTL.P

CAD FILE: J180406.SPP.DWG

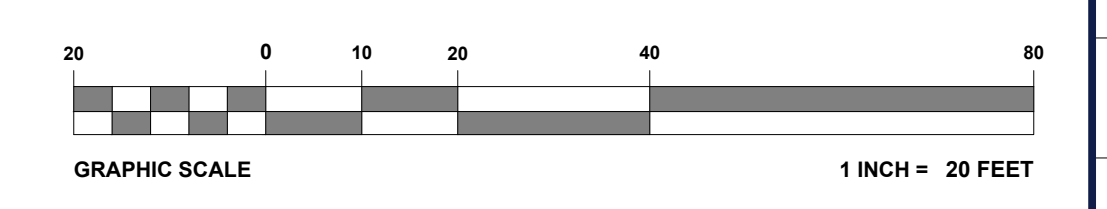


	PROPERTY LINE
	EXIST. CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	EXIST. WATER
	PROP. WATER
	EXIST. GAS
	PROP. GAS
	EXIST. ELECTRIC/TELEPHONE
	PROP. ELECTRIC/TELEPHONE
	EXIST. ELECTRIC/TELEPHONE/CABLE
	PROP. ELECTRIC/TELEPHONE/CABLE
	EXIST. OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	EXIST. STORM PIPE
	PROP. STORM PIPE
	EXIST. SANITARY PIPE
	PROP. SANITARY PIPE
	PROP. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. GRADE ELEVATION
	PROP. TOP OF WALL ELEVATION
	PROP. GRADE ON HIGH SIDE OF WALL
	PROP. GRADE ON LOW SIDE OF WALL
	PROP. TOP OF CURB & FINISHED GRADE ELEV.
	EXIST. AREA/YARD LIGHT
	PROP. AREA/YARD LIGHT
	PROP. CLEAN OUT
	EXIST. INLET
	PROP. INLET
	EXIST. MANHOLE
	PROP. STORM MANHOLE
	PROP. SANITARY MANHOLE
	EXIST. HYDRANT
	PROP. HYDRANT
	EXIST. UTILITY VALVE
	PROP. UTILITY VALVE
	EXIST. UTILITY POLE
	PROP. TRAFFIC SIGNAL

NEW JERSEY STATE HIGHWAY ROUTE U.S. NO. 9
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)
(POSTED SPEED LIMIT: 55 MPH)

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY



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PROPOSED SITE IMPROVEMENTS	
BLOCK 268; LOTS 62 & 80	
STREET ADDRESS 78 U.S. ROUTE 9	
CITY TOWNSHIP OF MARLBORO	STATE NJ
COUNTY MONMOUTH COUNTY	
REGIONAL DWG. NO L/C: 029-0328	PLAN DESCRIPTION GRADING PLAN
DATE 01/22/21	BY RND
DATE 01/22/21	BY AJL
DATE N/A	BY N/A
C-401	

ISSUE REF	BY	DESCRIPTION	DATE	REV	FINAL PLAN SIGNATURES				
					P.M.	G.C.	O/O		

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	ADDRESS		STAMFORD, CT 06901 (203) 359-9238

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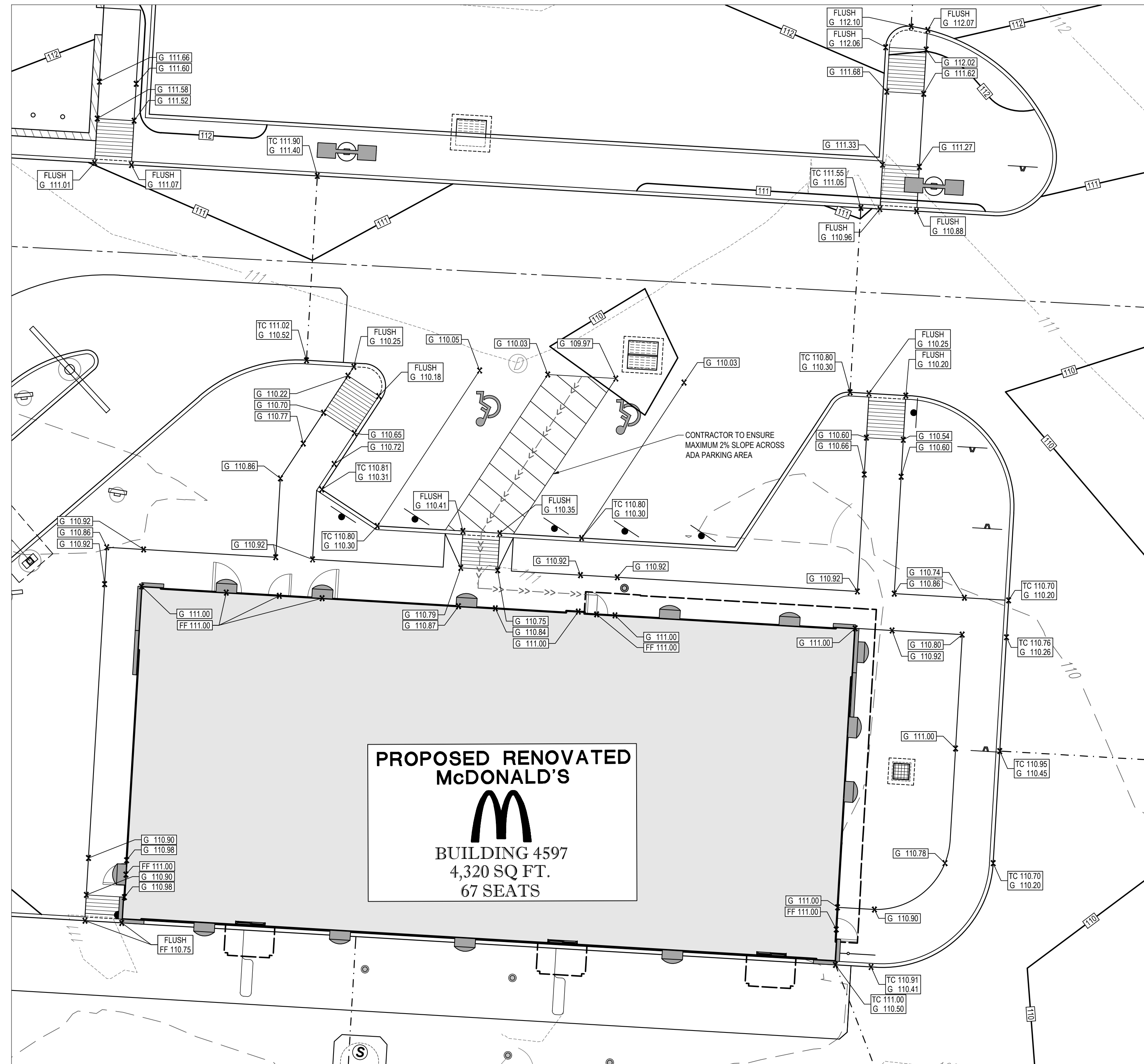
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NEW YORK LICENSE NO. 0885141
CONNECTICUT LICENSE NO. 26039
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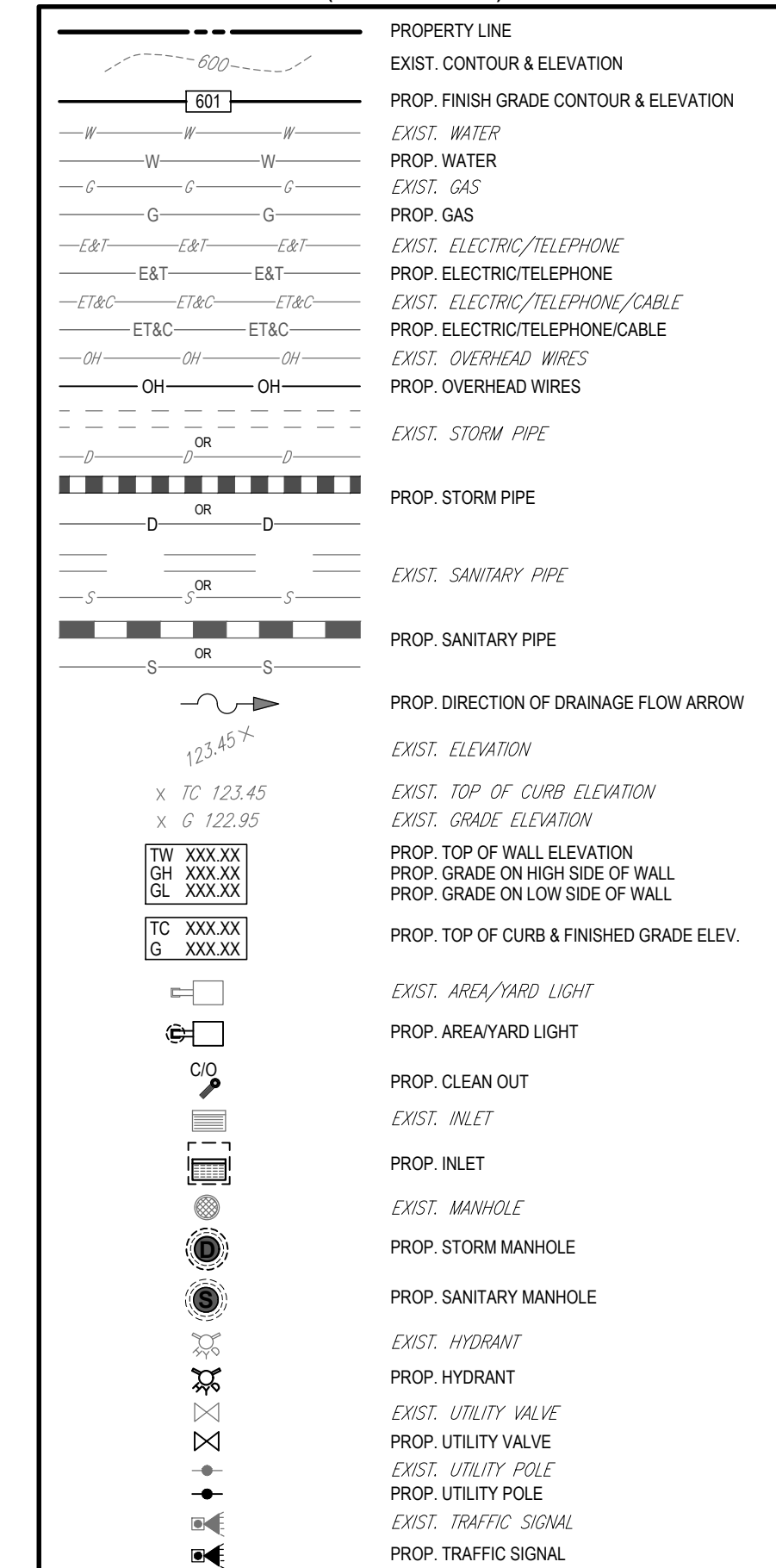
ACCESSIBILITY DESIGN GUIDELINES

(Rev. 1/2020)

- ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.) AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.
- THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.
- THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
 - PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY. UNRESTRICTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS-SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED ALONG THE ACCESSIBLE PATH OF TRAVEL. OPENINGS MUST NOT EXCEED 12-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDE A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.
 - ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES.
 - ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDINGS MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).
 - DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
 - WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 402.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER-FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.
 - THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-COMFORMING CONCRETE AND/OR PAVEMENT SURFACES.
- IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.
- ANY WORK PROPOSED IN THE STATE OF NEW JERSEY MUST CONFORM TO THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 1, BARRIER-FREE ACCESS.

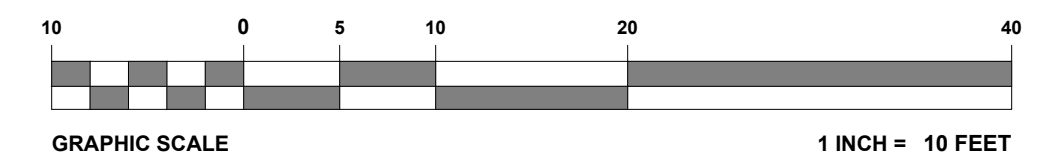


GRAPHIC LEGEND
(U010102 - 03/12/12)



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PROPOSED SITE IMPROVEMENTS	
BLOCK 268; LOTS 62 & 80	
STREET ADDRESS	
78 U.S. ROUTE 9	
CITY	STATE
TOWNSHIP OF MARLBORO	NJ
COUNTY	
MONMOUTH COUNTY	
REGIONAL DWG. NO	PLAN DESCRIPTION
L/C: 029-0328	ADA GRADING PLAN
CAD FILE: J180405.GDD/0F	

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					P.M. G.C. O/O
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STAMFORD, CT 06901 (203) 359-9238					
PLAN APPROVALS	DATE				
SIGNATURE (2 REQUIRED)					
REGIONAL MGR.					
CONST. MGR.					
OPERATIONS DEPT.					
REAL ESTATE DEPT.					
CO-SIGN SIGNATURES		OFFICE	ADDRESS	STATUS	DATE
				PRELIMINARY	01/22/21
				PLAN CHECKED	01/22/21
				AS-BUILT	N/A
				CONTRACTOR OWNER	
C-402					

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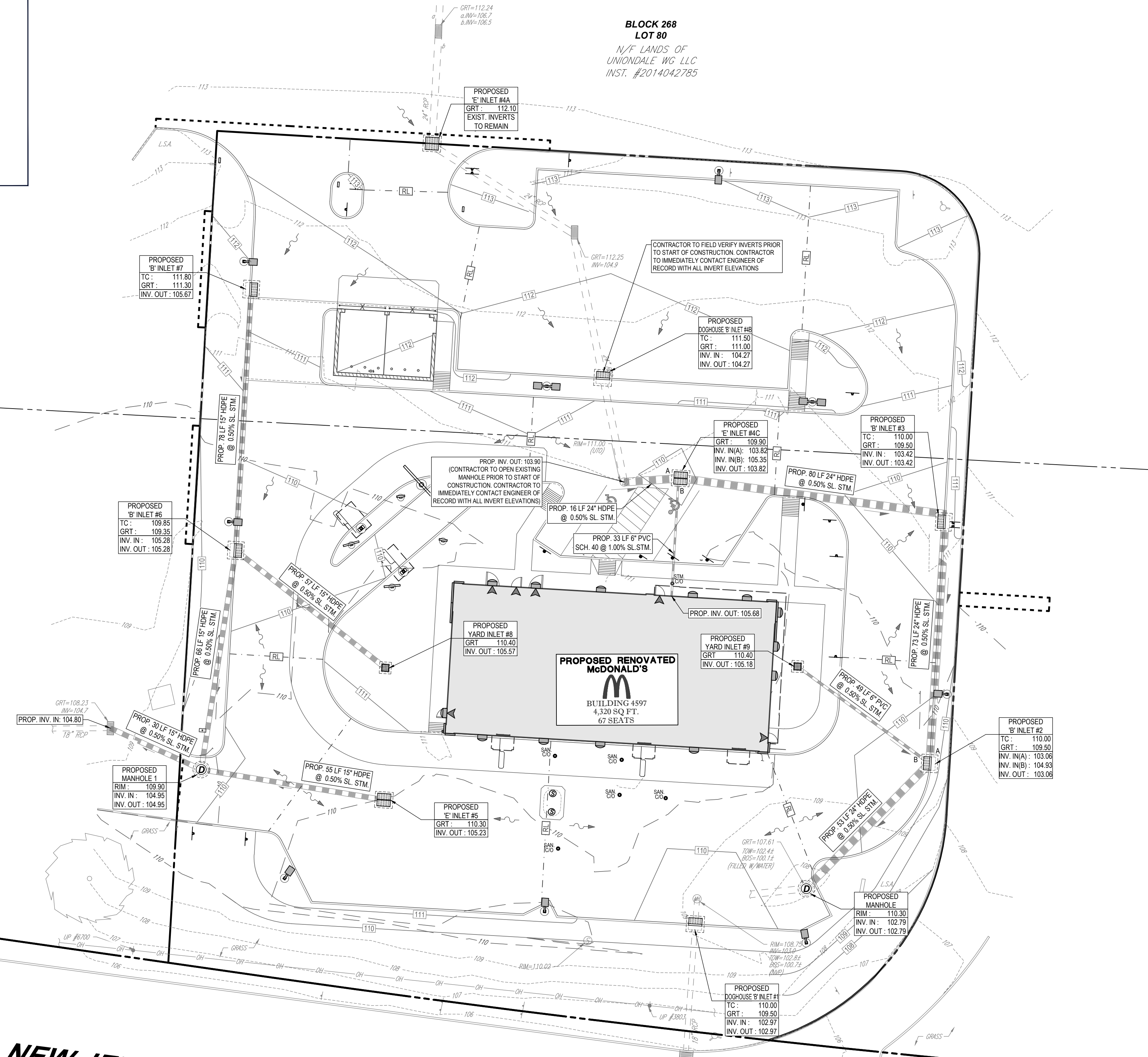
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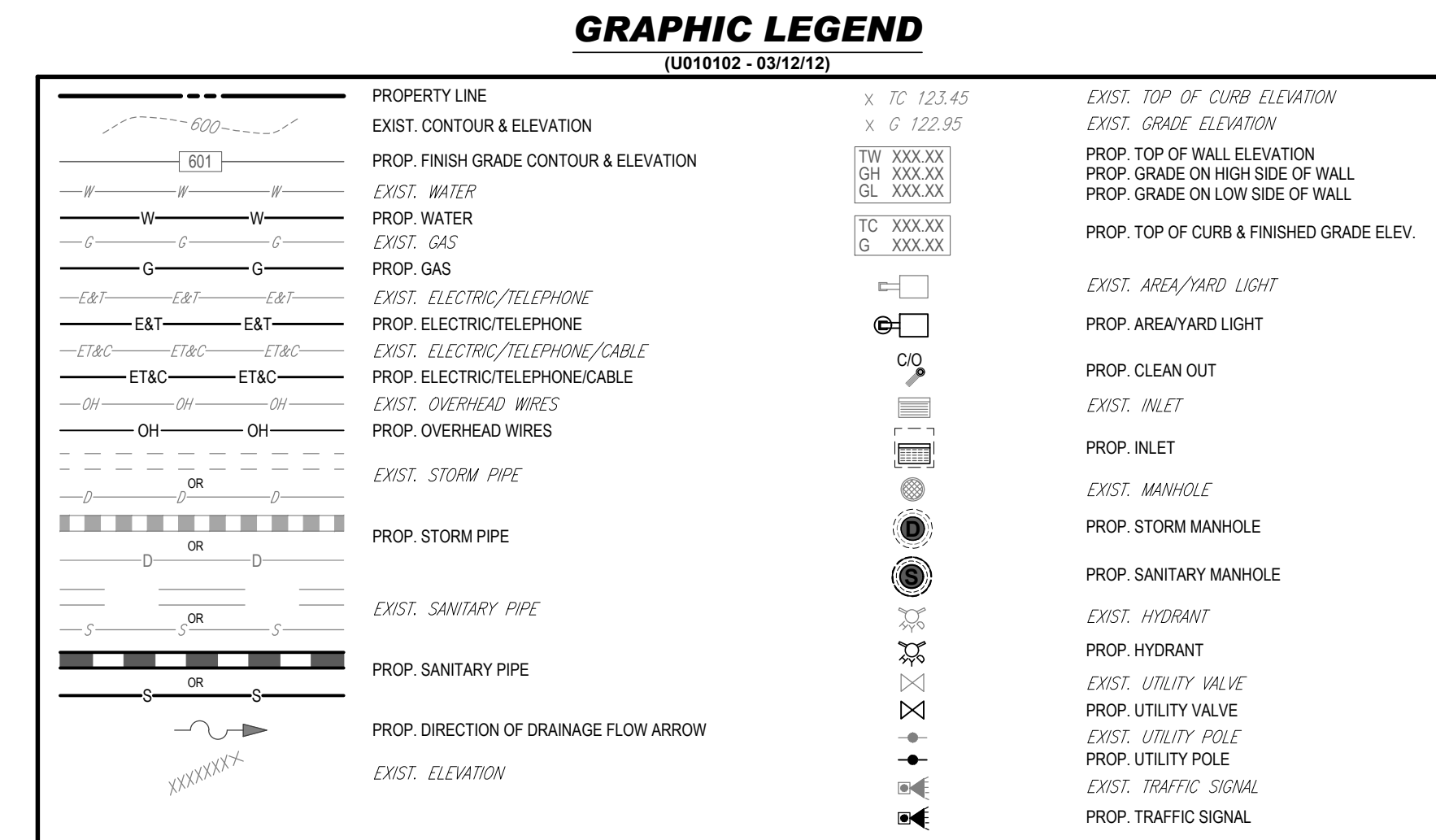
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BLOCK 268
LOT 60
N/F LANDS OF
UNIONDALE W/LLC
INST. #2014042785



NEW JERSEY STATE HIGHWAY ROUTE U.S. NO. 9
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)
(POSTED SPEED LIMIT: 55 MPH)

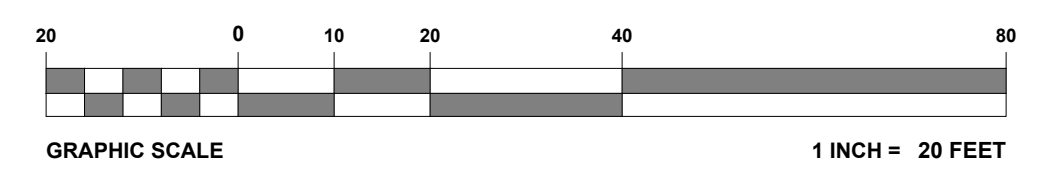


REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN FOR SOIL EROSION NOTES AND MEASURES

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

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PROPOSED SITE IMPROVEMENTS	
BLOCK 268; LOTS 62 & 80	
STREET ADDRESS	
78 U.S. ROUTE 9	
CITY	STATE
TOWNSHIP OF MARLBORO	NJ
COUNTY	
MONMOUTH COUNTY	
REGIONAL DWG. NO	PLAN DESCRIPTION
L/C: 029-0328	DRAINAGE PLAN

PLAN APPROVALS		FINAL PLAN SIGNATURES		ISSUE REF	
DATE	SIGNATURE (2 REQUIRED)	DATE	BY	DESCRIPTION	
			P.M.		
			G.C.		
			O/O		
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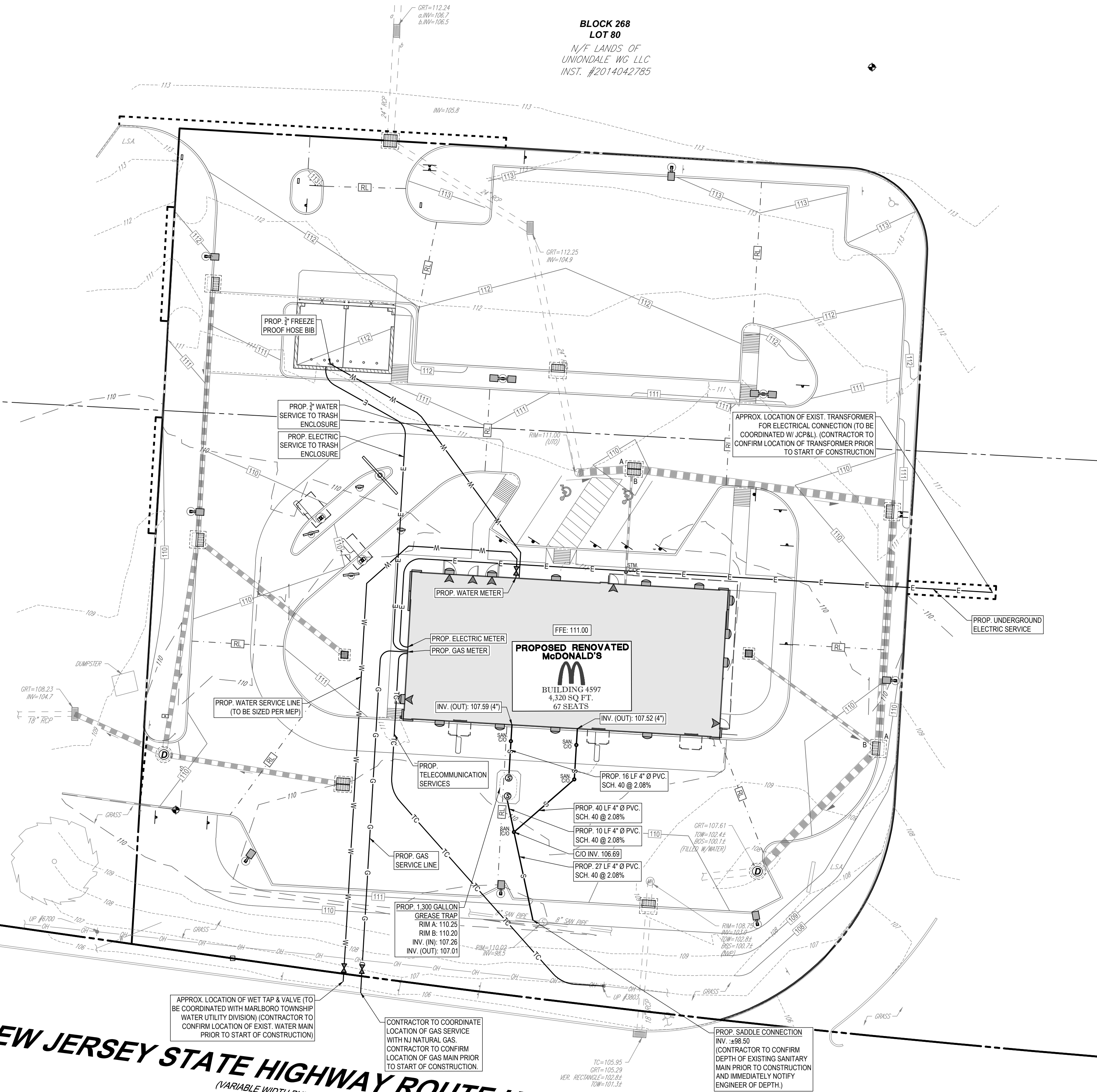
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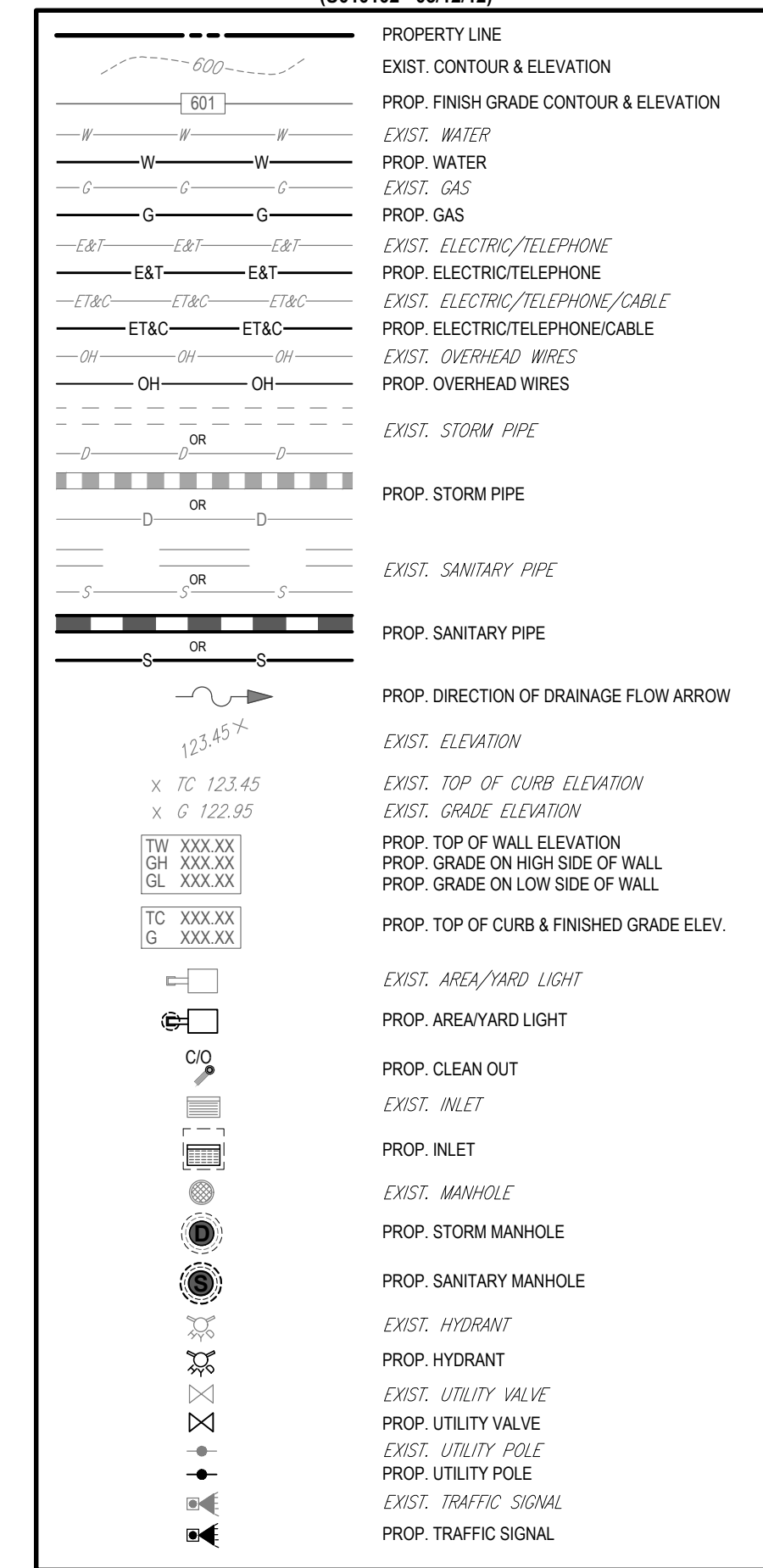


**BLOCK 268
LOT 60**
N/F LANDS OF
UNIONDALE WG, LLC
INST. #2014042785



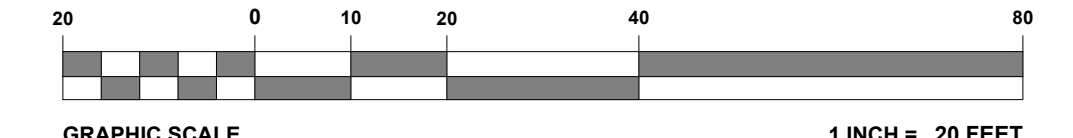
NEW JERSEY STATE HIGHWAY ROUTE U.S. NO. 9
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)
(POSTED SPEED LIMIT: 55 MPH)

GRAPHIC LEGEND
(U010162 - 03/12/12)



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PROPOSED SITE IMPROVEMENTS	
BLOCK 268; LOTS 62 & 80	
STREET ADDRESS	
78 U.S. ROUTE 9	
CITY	STATE
TOWNSHIP OF MARLBORO	NJ
COUNTY	
MONMOUTH COUNTY	
REGIONAL DWG. NO	PLAN DESCRIPTION
L/C: 029-0328	UTILITY PLAN

ISSUE REF	BY	DESCRIPTION	DATE	REV

FINAL PLAN SIGNATURES

P.M. _____
G.C. _____
O/O _____

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PLAN APPROVALS	DATE	BY
SIGNATURE (2 REQUIRED)		
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CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR OWNER		

CO-SIGN SIGNATURES	DATE	BY

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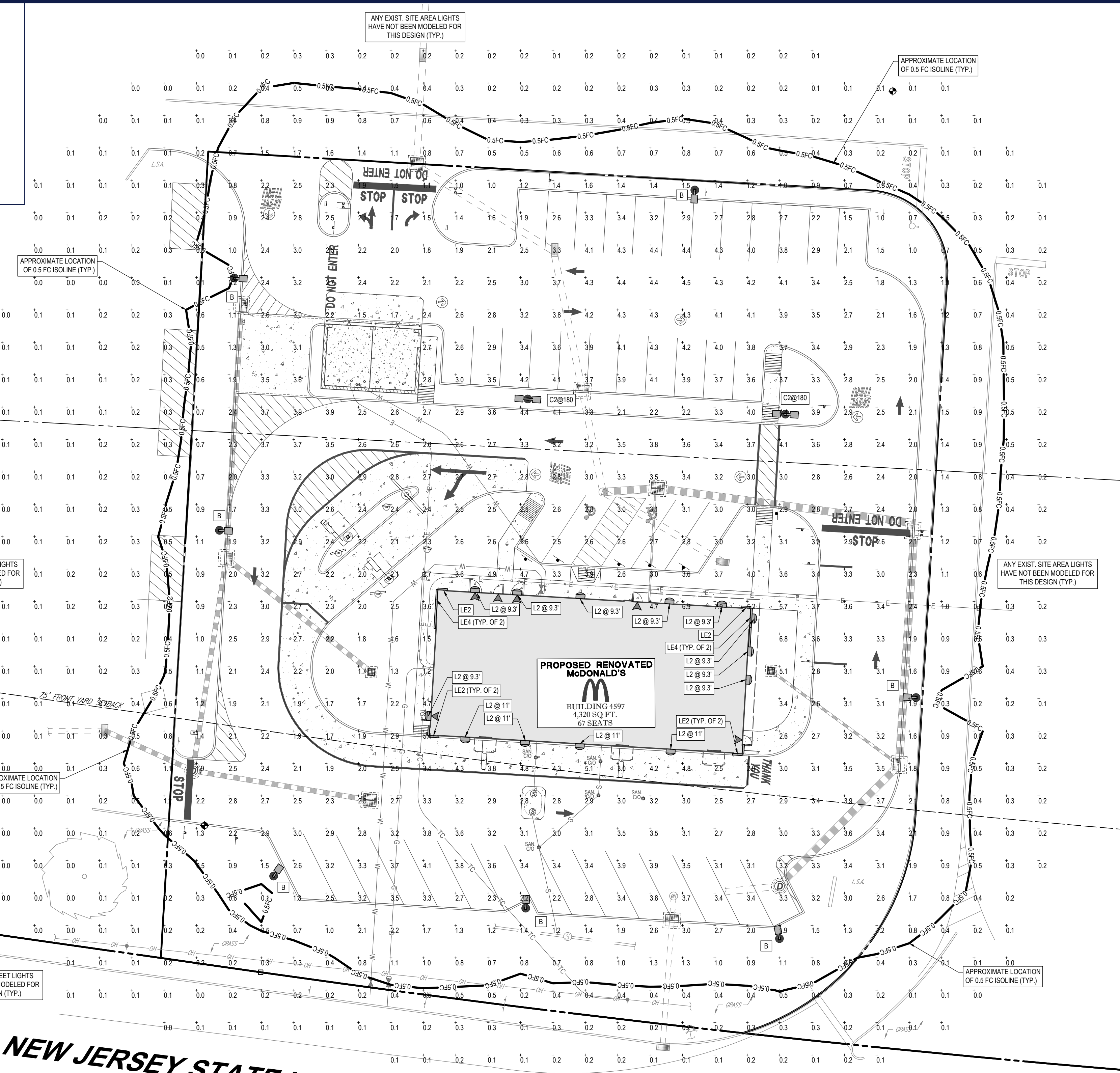
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C-501



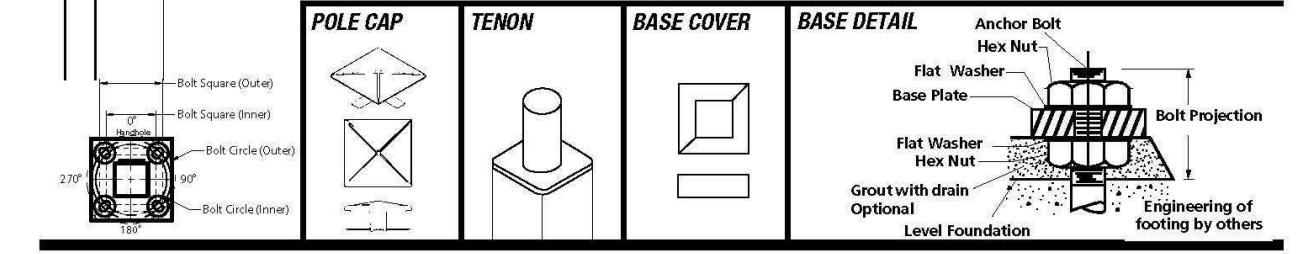
LIGHTING NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
2. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
5. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND REPLACING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLICITED BY THE ARCHITECT'S MECHANICAL ENGINEERS AND/OR LIGHTING CONTRACTORS RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
7. THE CONTRACTOR MUST BRING IMMEDIATELY TO WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
9. THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR, TO ACHIEVE THE APPROVED LIGHT LEVELS.
10. ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN.

(Rev. 1/2020)

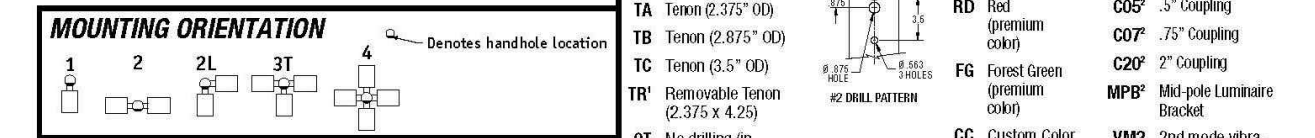
SPRALDING LIGHTING
SSS-S SERIES POLES
Square Straight Steel

- APPLICATIONS: Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.
CONSTRUCTION: SHAFT: One-piece straight steel with square cross section, flat sides and minimum 0.238" radius on all corners. Minimum yield of 45,000 psi (ASTM-A500, Grade B). Longitudinal weld seam to appear flush with shaft side wall. Steel base plate with raised bolt circle ends welded flush to pole shaft having minimum yield of 55,000 psi (ASTM A36).
BASE COVER: Two-piece square aluminum base cover included standard.
POLE CAP: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available.
HAND HOLE: Rectangular 305 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind glassed cover.
ANCHOR BOLTS: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling.
FINISH: Durable thermoplastic powder coat paint finish with nominal 3.0 mil thickness.
Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method.
Decorative finish coat available in seven standard colors. Custom colors available; RAL number preferable; Internal protective coating available.



ORDERING INFORMATION: Reference page 2 for available configurations. ORDERING EXAMPLE:

Table with columns: SERIES, HEIGHT, SHAFT, THICKNESS, MOUNTING, DRILL PATTERN, FINISH, OPTIONS. Includes example configurations for SSS-S poles.



ACCESSORIES - Order Separately table listing items like VMT1 (1st mode vibration damper), VMTSX (2nd mode vibration damper), LAB (Less Anchor Bolts), and UL (UL Certified).

Web: www.securitylighting.com
2100 Golf Road, Suite 400, Rolling Meadows, IL 60008-3704
Phone: 1-800-527-1171, 1-800-544-8444; Email: sales@securitylighting.com
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CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ MANUFACTURER LIGHT POLE COLOR TO MATCH FIXTURE: PLATINUM SILVER
LIGHT POLE SPECIFICATION (NOT TO SCALE) SOURCE: HUBBELL LIGHTING



HUBBELL LIGHTING RATIO 2 SERIES LED AREA LIGHT (B & C2@180) NOT TO SCALE



SECURITY LIGHTING RADIUS SERIES LED WALL SCONCE (L2) NOT TO SCALE



SECURITY LIGHTING HIRAF SERIES LINEAR LED FAÇADE LIGHT (LE2 & LE4) NOT TO SCALE

REFERENCES AND CONTACTS

REFERENCES: SECURITY LIGHTING
2100 GOLF ROAD, SUITE 400
ROLLING MEADOWS, IL 60008
DATED: 03/16/2020
LAST REVISED: 01/07/2021

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

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NEW JERSEY STATE HIGHWAY ROUTE U.S. NO. 9
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)
(POSTED SPEED LIMIT: 55 MPH)

LUMINAIRE SCHEDULE

Table with columns: SYMBOL, QTY, LABEL, MTG. HT., DESCRIPTION, ARRNGMNT., LUMENS, LLF, COLOR TEMP., CATALOG #. Lists specifications for Hubbell and Security Lighting fixtures.

NOTE: ANY EXISTING STREET AND SITE AREA LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.

REFER TO DETAIL SHEET FOR LIGHT POLE FOUNDATION DETAIL

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

TOWNSHIP REQUIREMENTS

Table with columns: LOCATION, REQUIRED, PROPOSED. Details zoning and regulations for off-street parking and pole height.

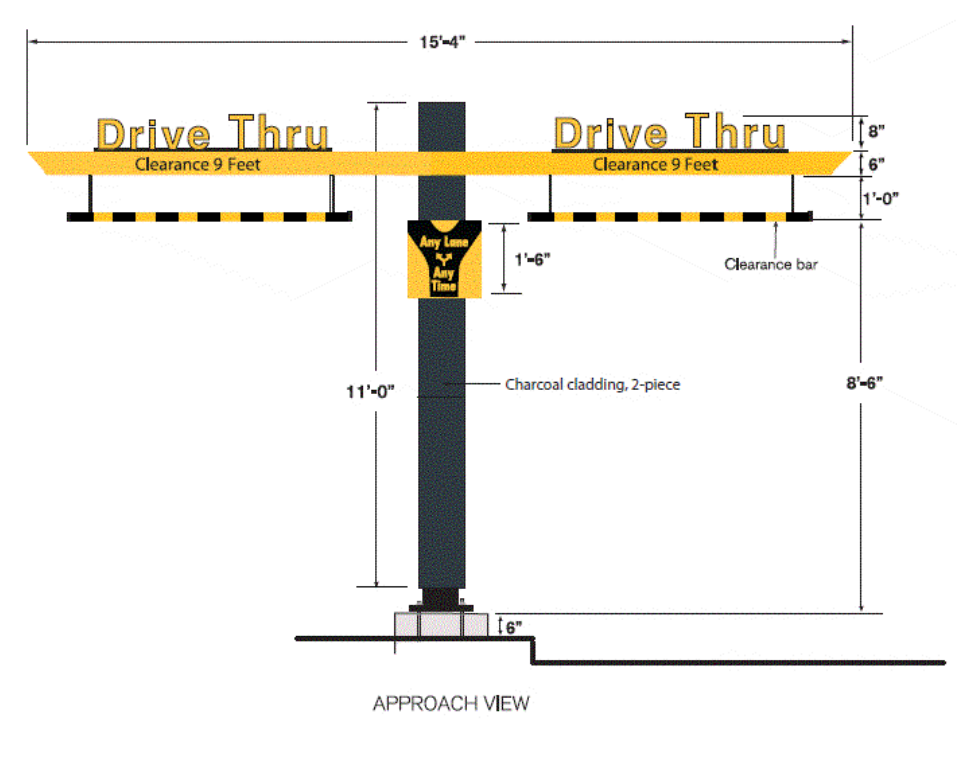
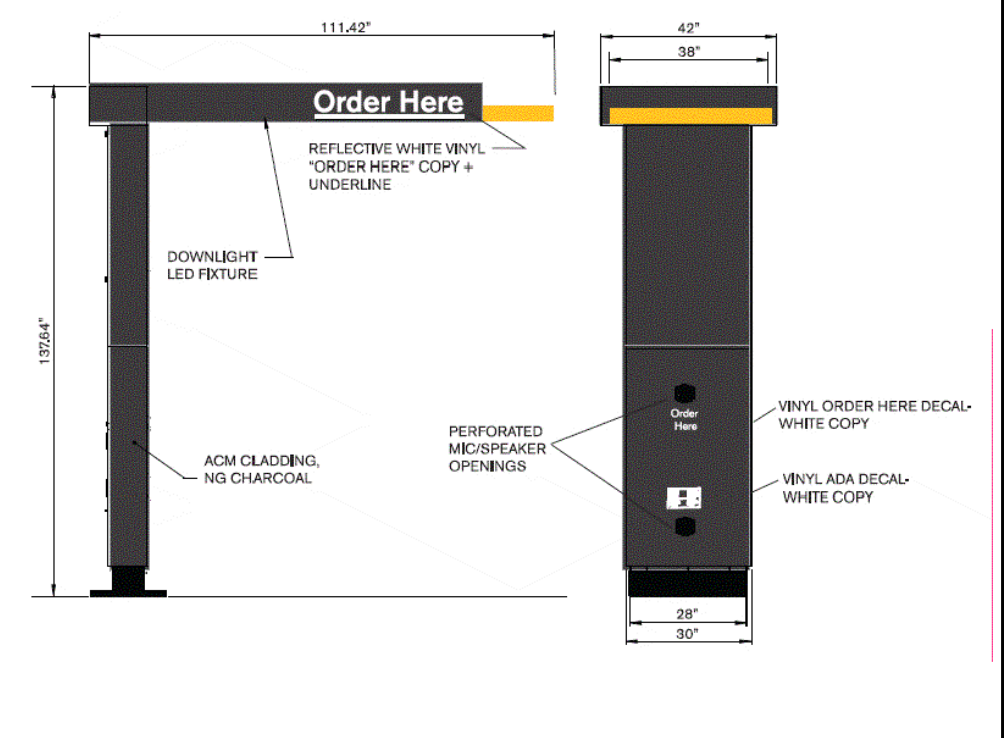
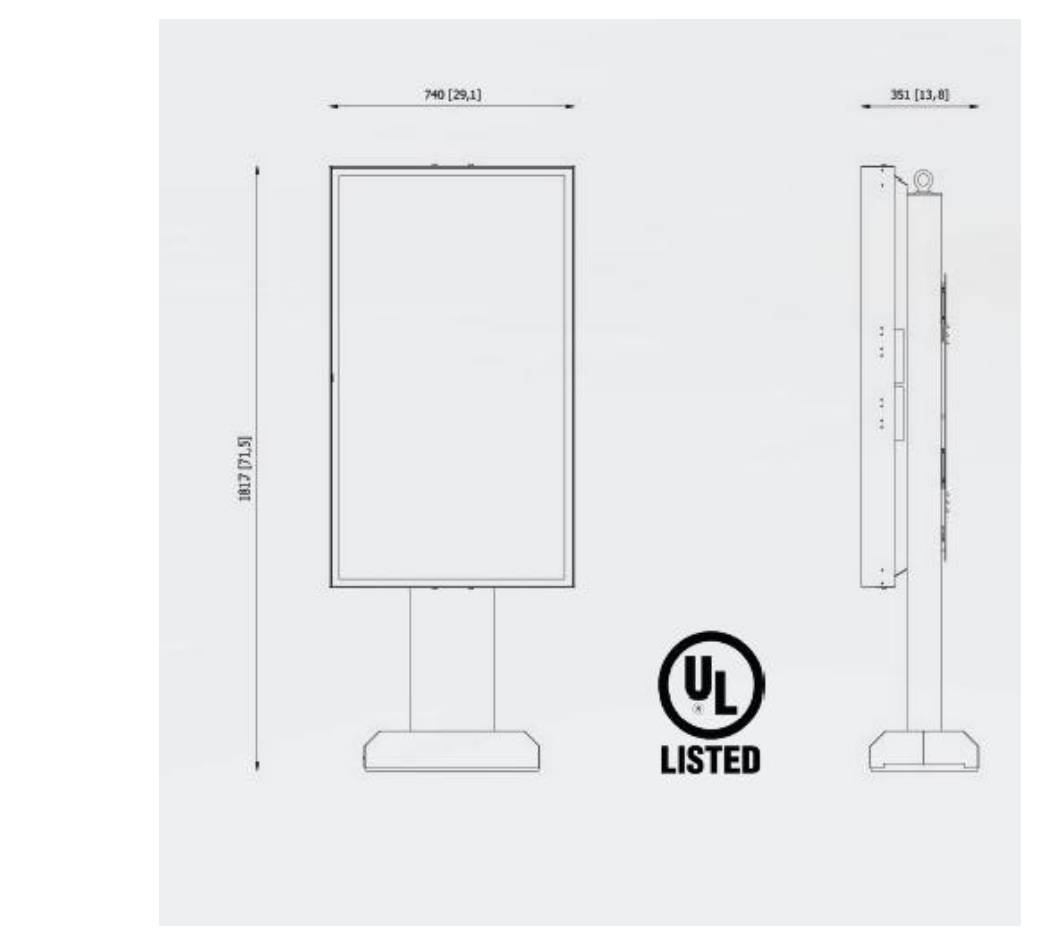
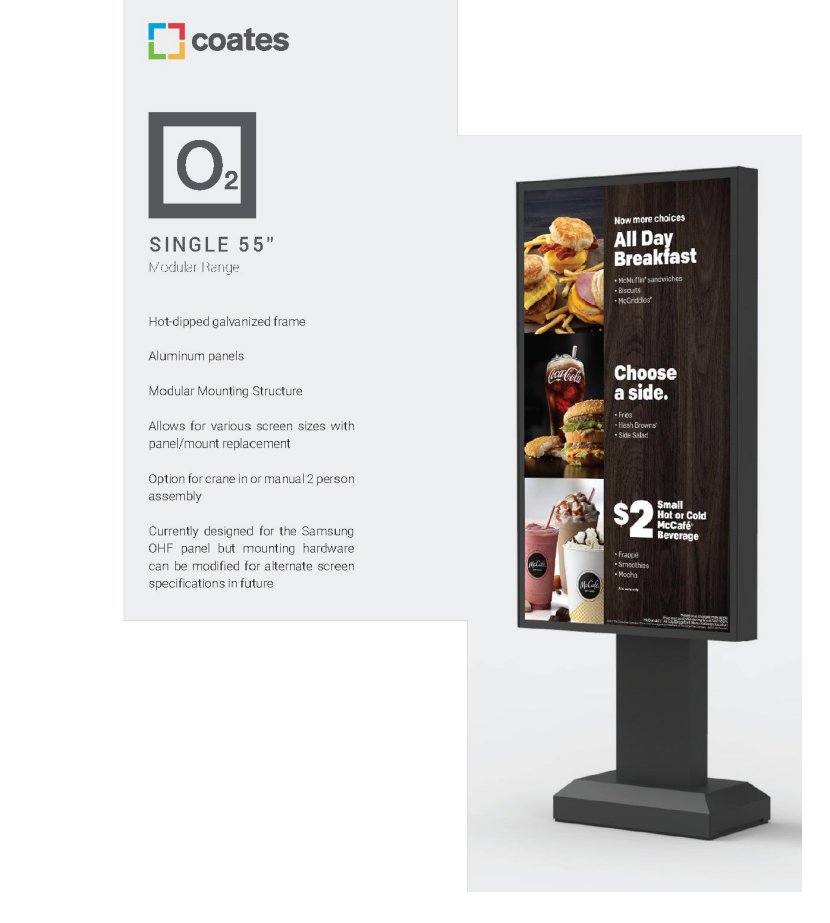
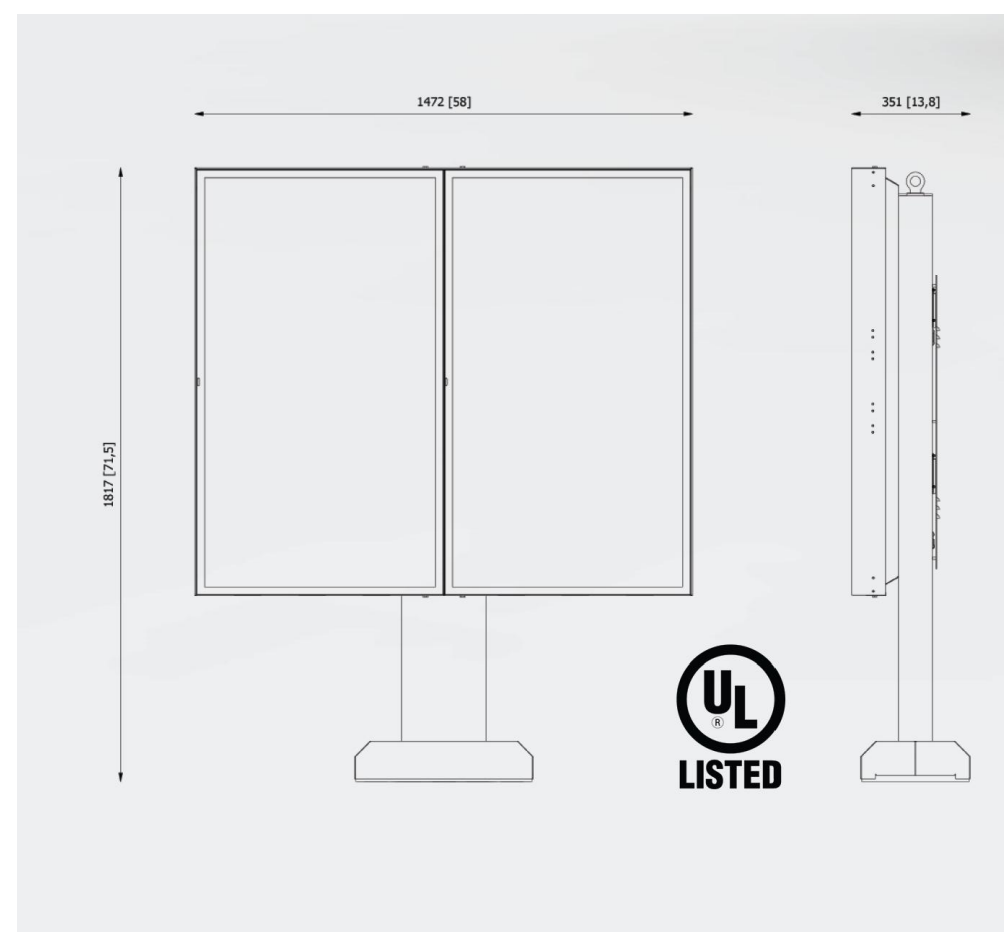
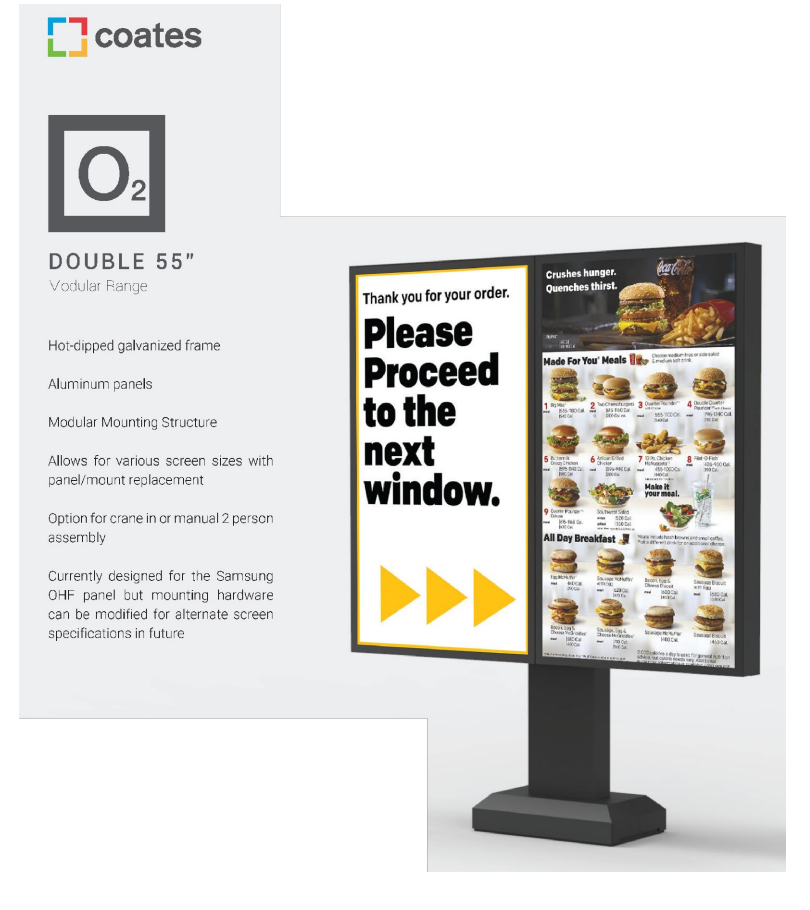
811 logo with text: Know what's below. Call before you dig. NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-372-8000 www.nj-811.org

BOHLER logo and contact information: BOHLER ENGINEERING NJ, LLC 30 INDEPENDENCE BOULEVARD WARREN, NJ 07059. Includes services like SITE CIVIL AND CONSULTING ENGINEERING, LAND SURVEYING, PROGRAM MANAGEMENT, etc.

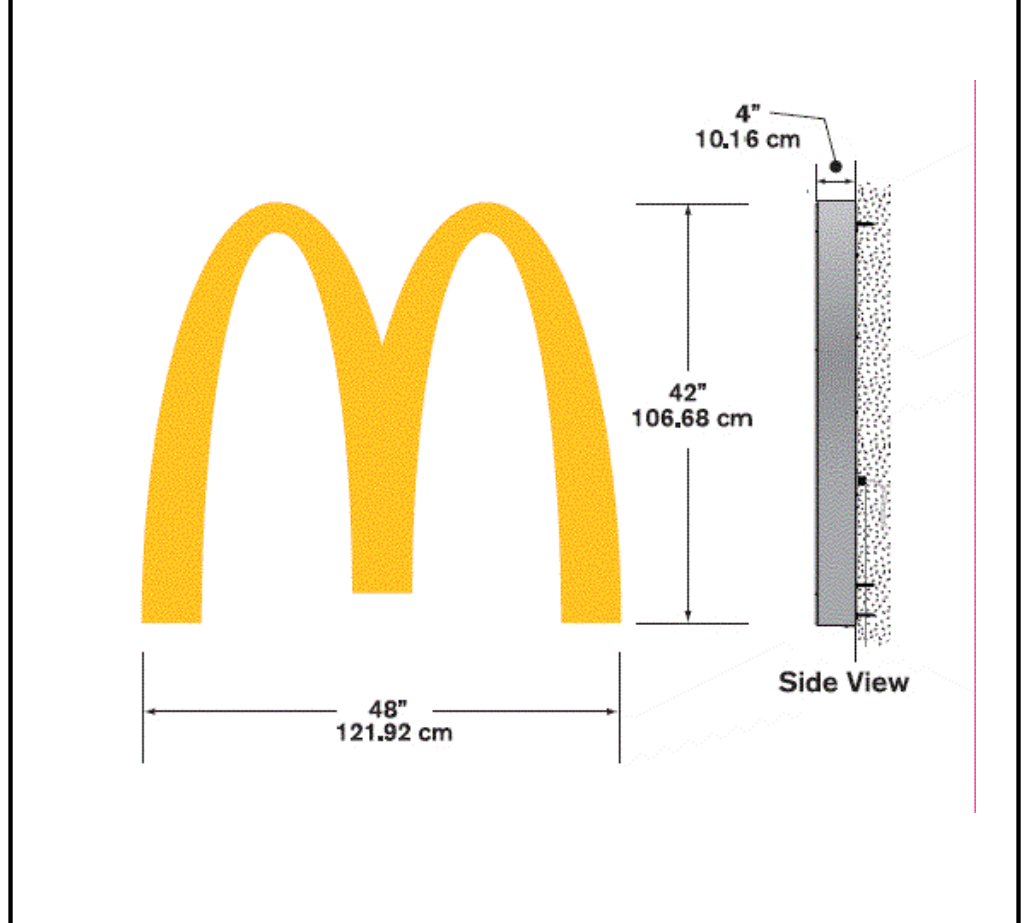
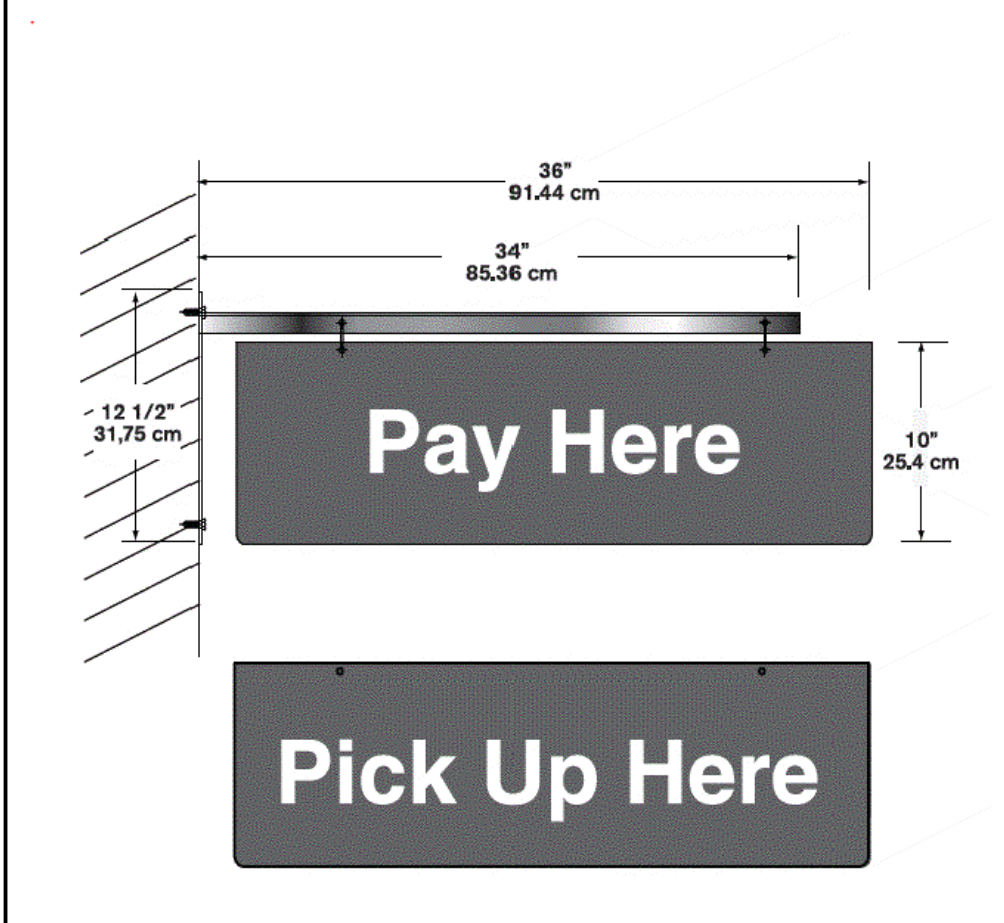
B.A. BOHLER logo and contact information: PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 47421, DELAWARE LICENSE NO. 17111, FLORIDA LICENSE NO. 73277, NEW YORK LICENSE NO. 0885114, CONNECTICUT LICENSE NO. 26039, PENNSYLVANIA LICENSE NO. 077366.

PROPOSED SITE IMPROVEMENTS: BLOCK 268; LOTS 62 & 80. STREET ADDRESS: 78 U.S. ROUTE 9. CITY: TOWNSHIP OF MARLBORO, STATE: NJ, COUNTY: MONMOUTH COUNTY. REGIONAL DWG. NO: L/C: 029-0328. PLAN DESCRIPTION: LIGHTING PLAN.

McDonald's logo and project information: THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S U.S.A. LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. PROJECT: NORTH EAST FIELD EXECUTION TEAM. ADDRESS: 695 E. MAIN STREET, STAMFORD, CT 06901 (203) 359-9238. PLAN APPROVALS: SIGNATURE (2 REQUIRED), DATE. CO-SIGN SIGNATURES: REGIONAL MGR., CONST. MGR., OPERATIONS DEPT., REAL ESTATE DEPT. CONTRACTOR OWNER: STATUS: PRELIMINARY, DATE: 01/22/21, BY: RND. PLAN CHECKED: 01/22/21, BY: AJL. AS-BUILT: N/A, BY: N/A. C-703

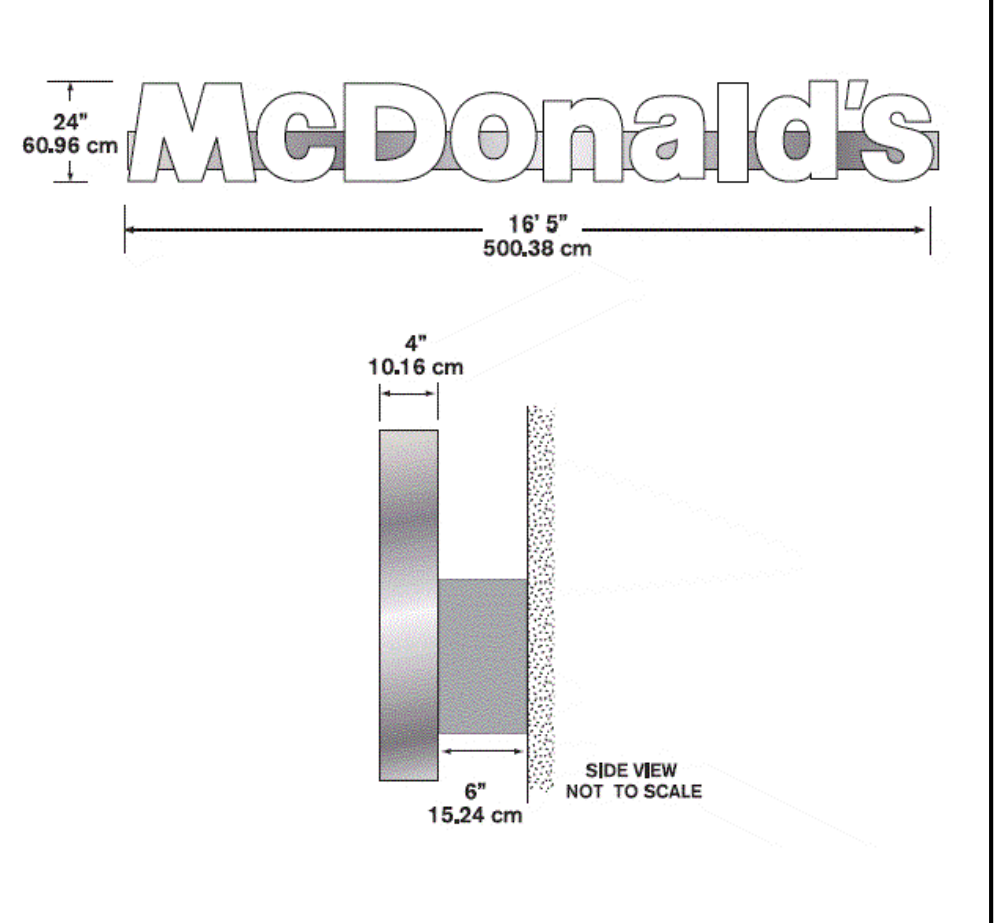


A **MENU BOARD**
NOT TO SCALE (SOURCE: McDONALD'S)



E **NEXT GEN WINDOW POSITION SIGNS**
NOT TO SCALE (SOURCE: McDONALD'S)

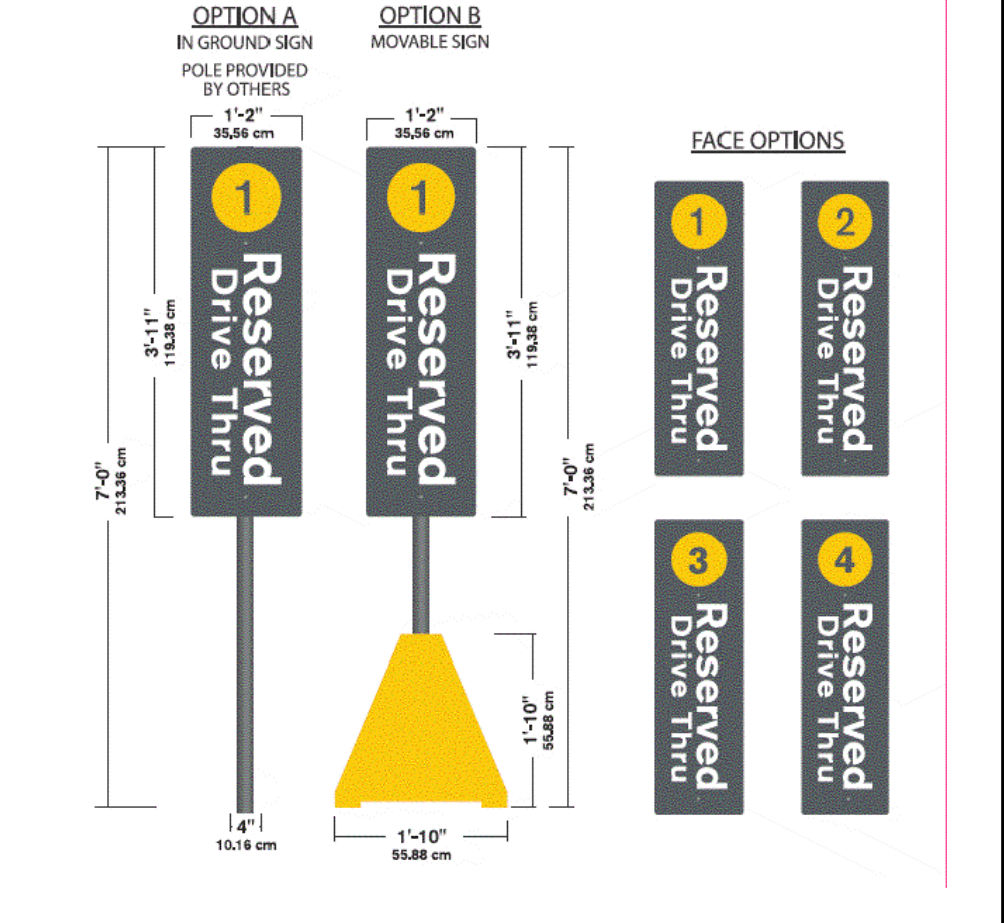
B **PRE-BROWSE BOARD**
NOT TO SCALE (SOURCE: McDONALD'S)



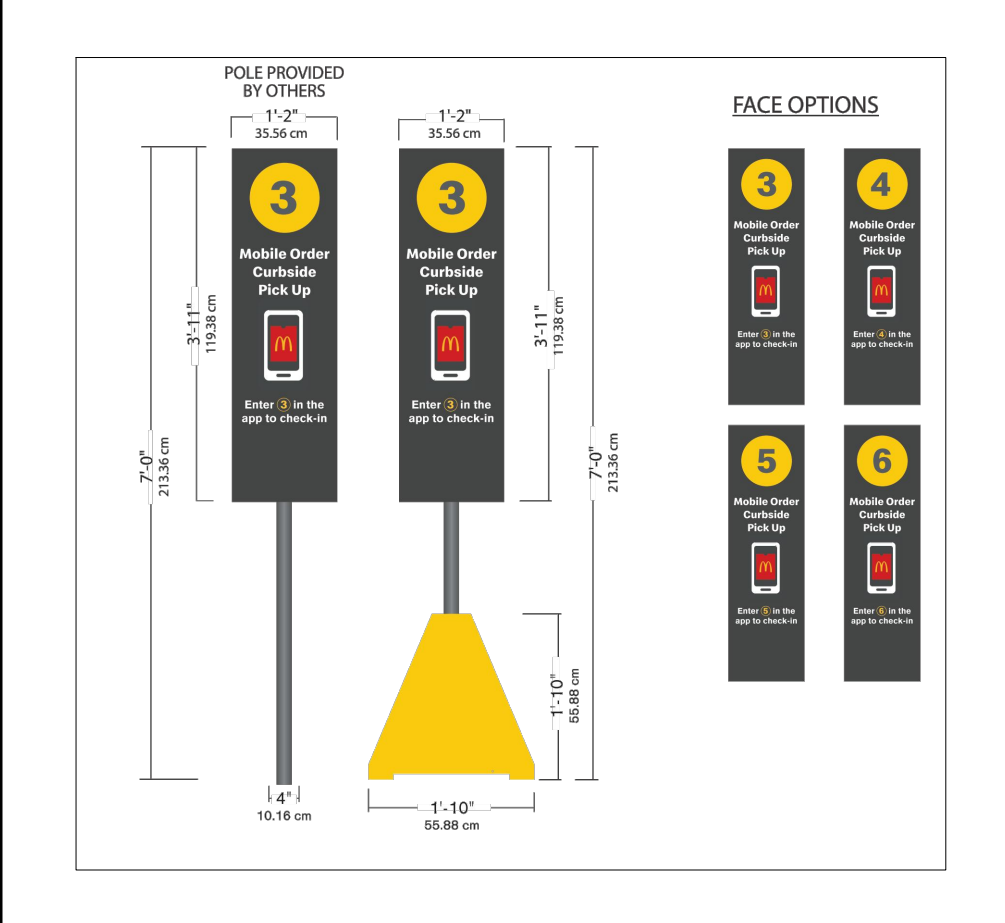
G **NEXT GEN 24\"/>**

H **NEXT GEN S2F DIRECTIONAL SIGNS**
NOT TO SCALE (SOURCE: McDONALD'S)

C **SPRINGBOARD CANOPYW/AUDIO ONLY (IN YELLOW)**
NOT TO SCALE (SOURCE: McDONALD'S)



D **DOUBLE WELCOME POINT GATEWAY**
NOT TO SCALE (SOURCE: McDONALD'S)



F **NEXT GEN 42\"/>**

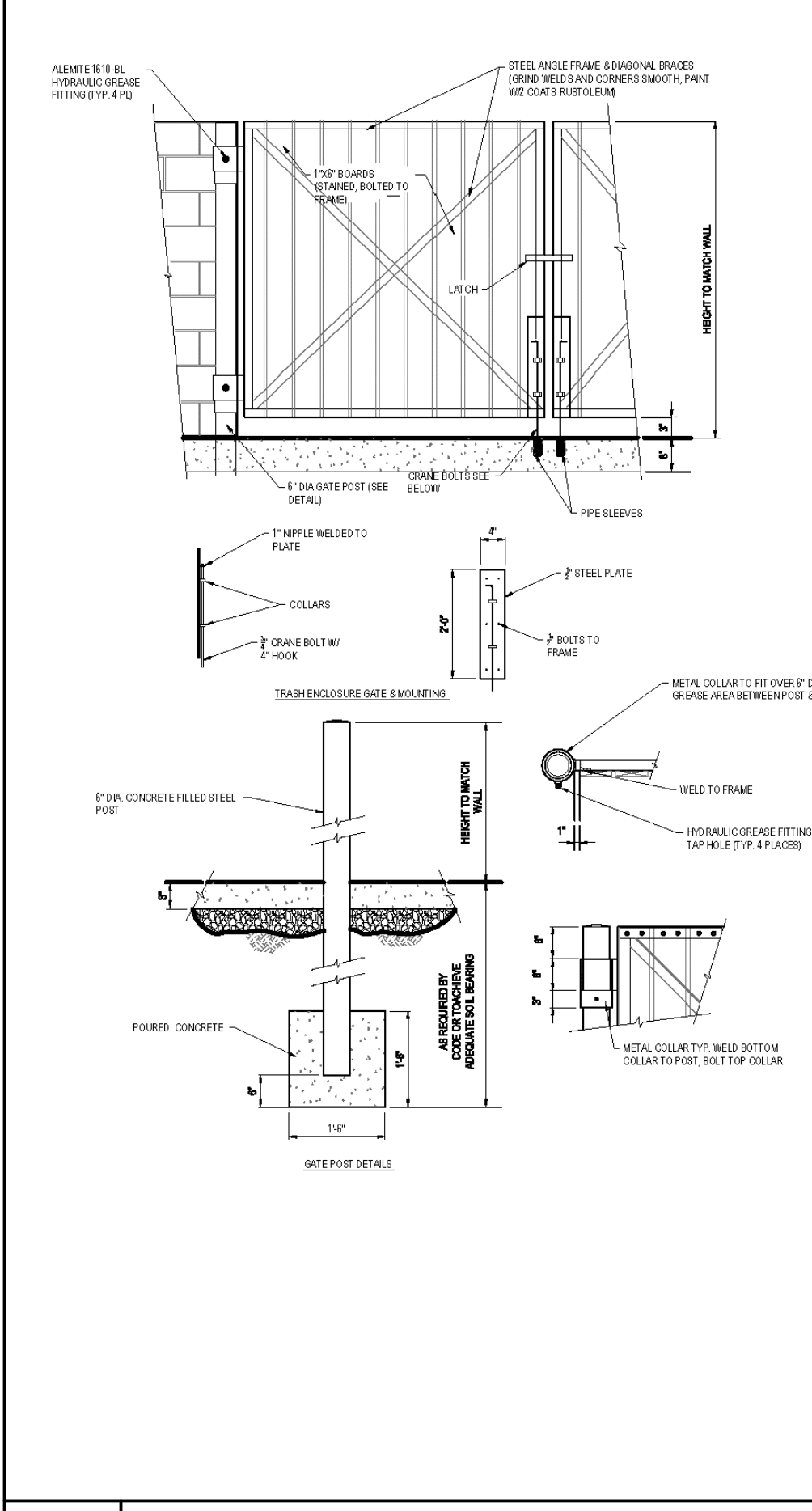
F **NEXT GEN 42\"/>**

G **NEXT GEN 24\"/>**

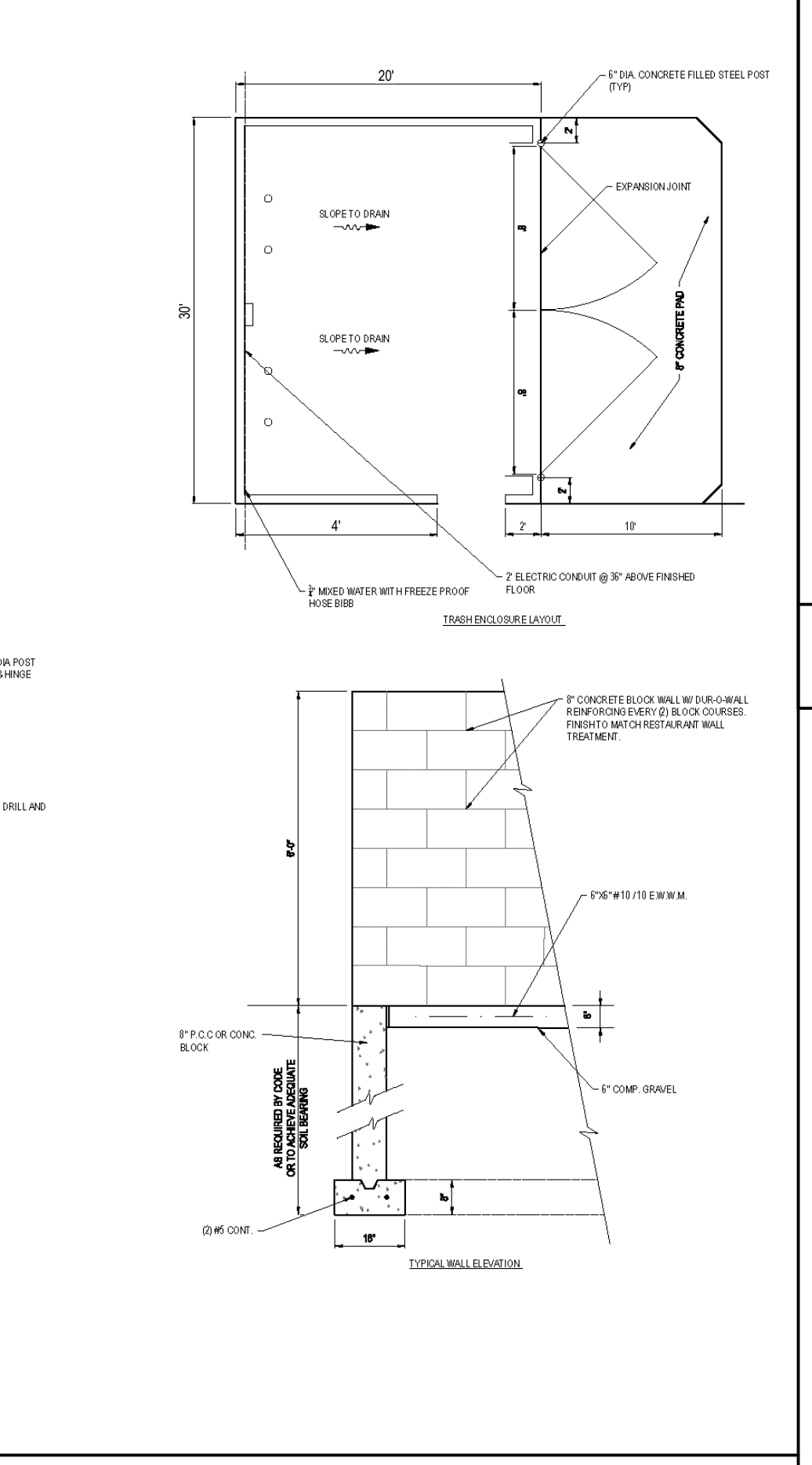
H **NEXT GEN S2F DIRECTIONAL SIGNS**
NOT TO SCALE (SOURCE: McDONALD'S)

1 **PULL FORWARD SIGNS**
NOT TO SCALE (SOURCE: McDONALD'S)

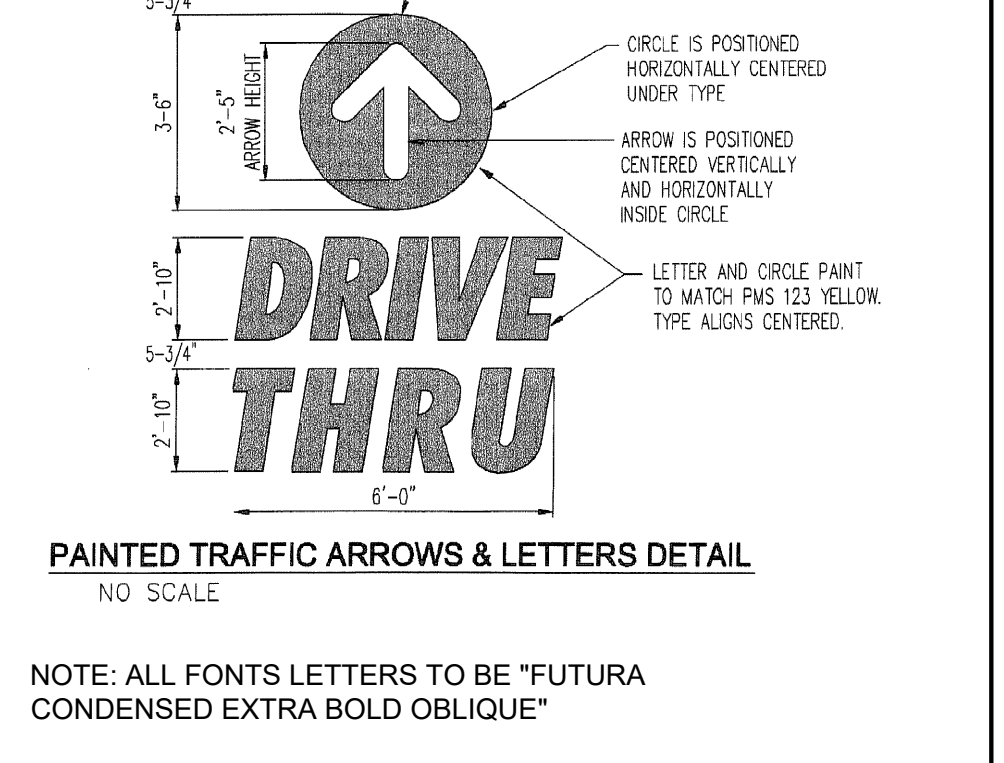
2 **MOBILE ORDER SIGNS**
NOT TO SCALE (SOURCE: McDONALD'S)



3 **TRASH ENCLOSURE DETAILS**
NOT TO SCALE (SOURCE: McDONALD'S)



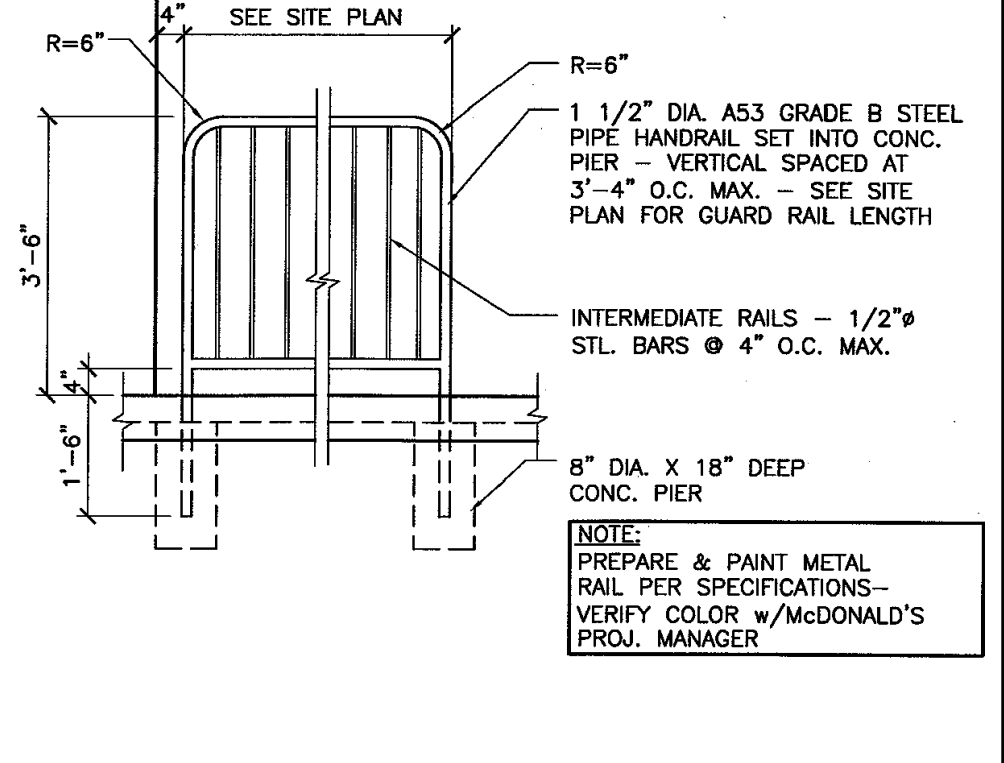
4 **DRIVE-THRU PAVEMENT MARKING**
NOT TO SCALE (SOURCE: McDONALD'S)



5 **'THANK YOU' PAVEMENT MARKING**
NOT TO SCALE (SOURCE: McDONALD'S)



6 **STEEL RAILING DETAIL**
NOT TO SCALE (SOURCE: McDONALD'S)



1 **PULL FORWARD SIGNS**
NOT TO SCALE (SOURCE: McDONALD'S)



2 **MOBILE ORDER SIGNS**
NOT TO SCALE (SOURCE: McDONALD'S)

ISSUE REF	BY	DESCRIPTION

REV	DATE	DESCRIPTION

FINAL PLAN SIGNATURES		
P.M.	G.C.	O/O

PLAN APPROVALS	DATE	DATE	BY
SIGNATURE (2 REQUIRED)			

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

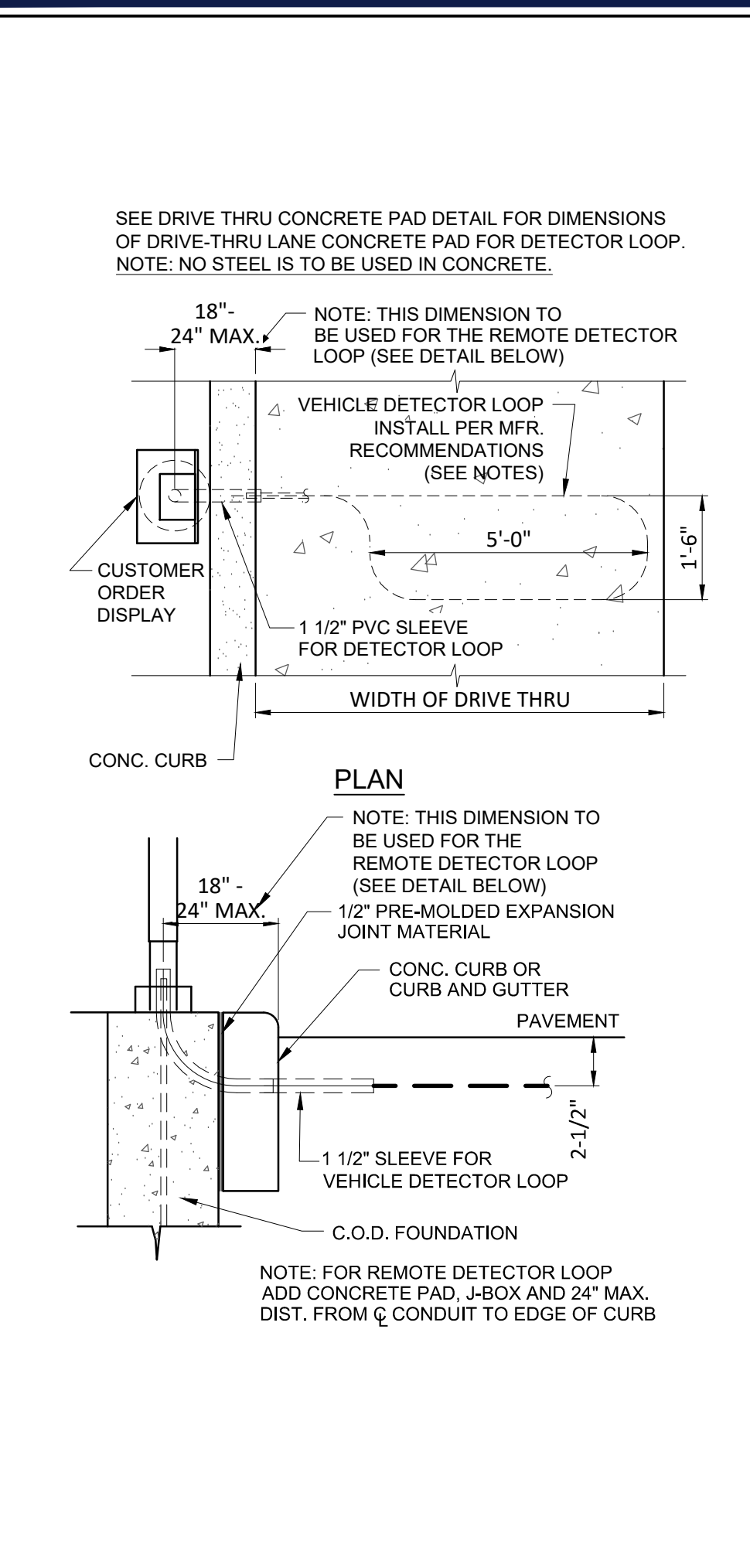
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PROPOSED SITE IMPROVEMENTS	
BLOCK 268; LOTS 62 & 80	
STREET ADDRESS 78 U.S. ROUTE 9	
CITY TOWNSHIP OF MARLBORO	STATE NJ
COUNTY MONMOUTH COUNTY	
REGIONAL DWG. NO. L/C: 029-0328	PLAN DESCRIPTION DETAIL SHEET

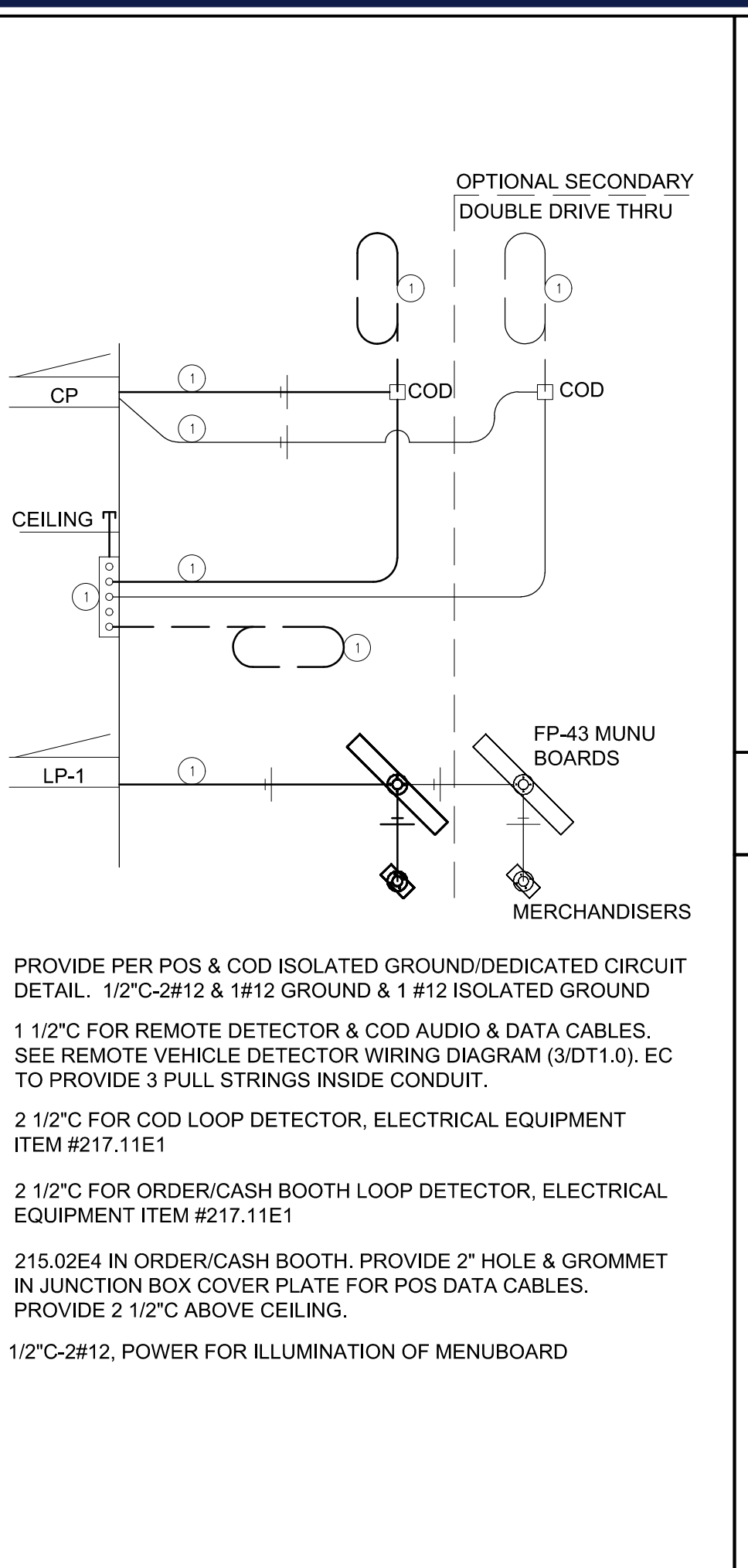
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C-901

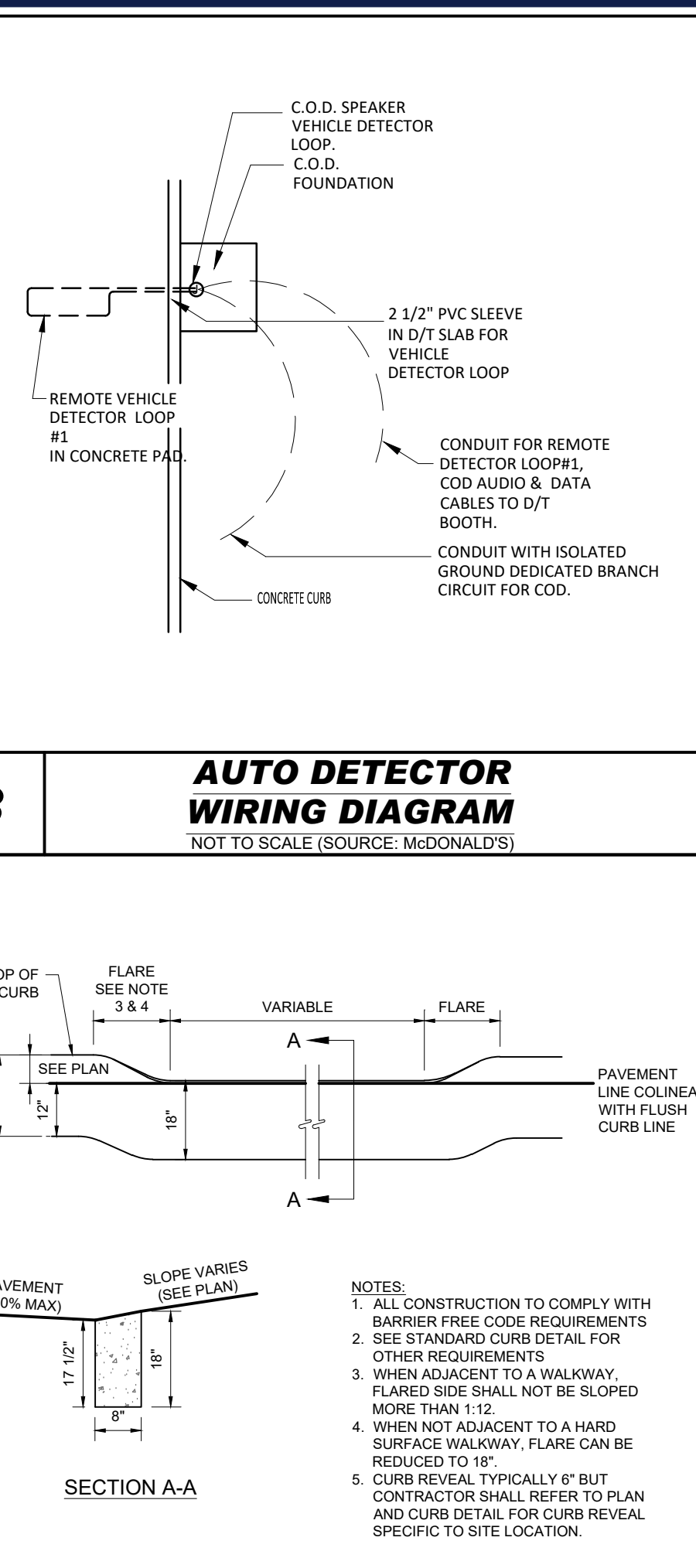
<p>Know what's below. Call before you dig. NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-332-1800 www.811-nj.com</p>	<p>BOHLER SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES</p>	<p>BOHLER ENGINEERING NJ, LLC 30 INDEPENDENCE BOULEVARD WARREN, NJ 07059 Phone: (908) 658-6300 Fax: (908) 754-4401 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 246A28181700</p>	<p>B.A. BOHLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 47421 DELAWARE LICENSE NO. 17111 FLORIDA LICENSE NO. 73277 NEW YORK LICENSE NO. 0885141 CONNECTICUT LICENSE NO. 26039 PENNSYLVANIA LICENSE NO. 077366</p>
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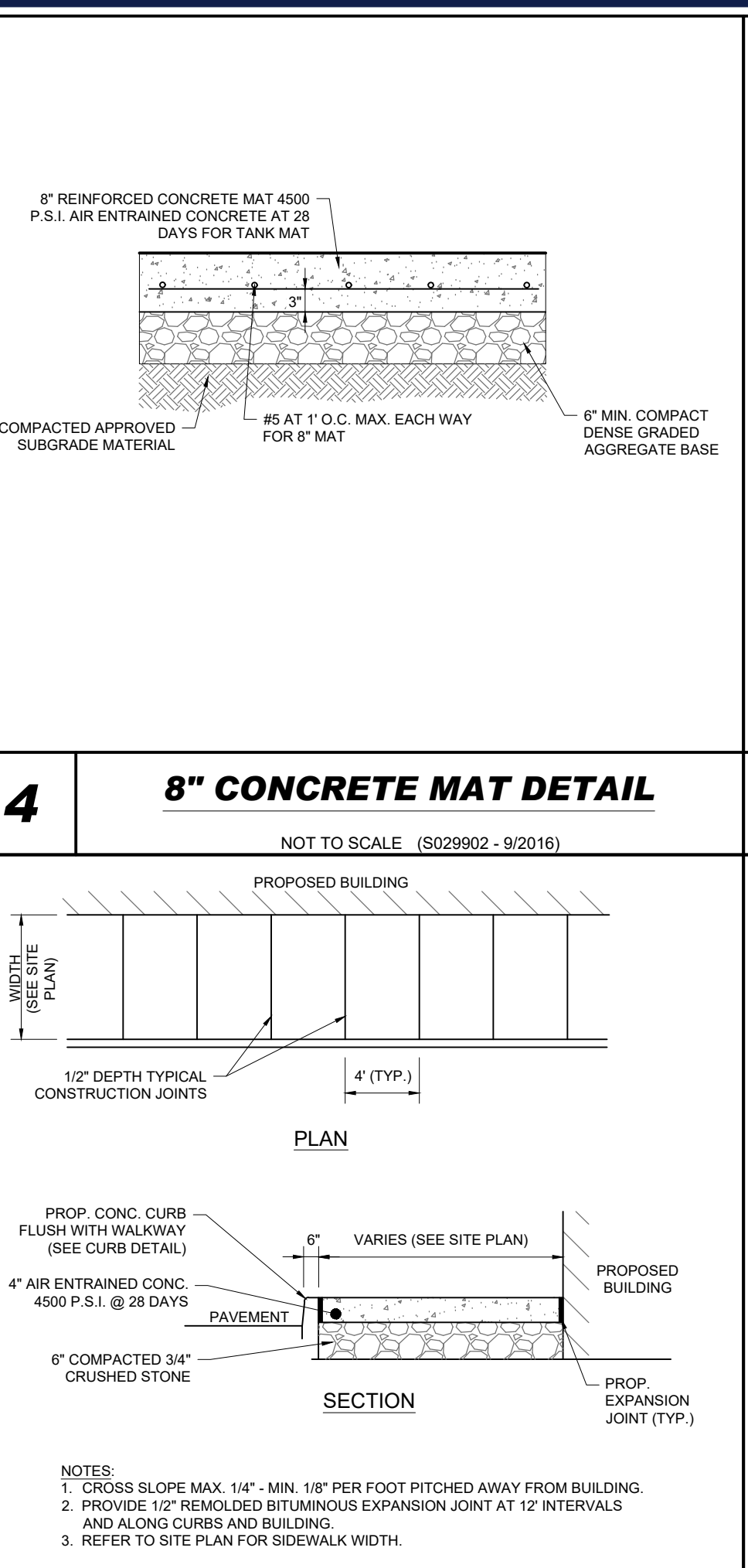
1 AUTO DETECTOR LOOP DETAIL
NOT TO SCALE (SOURCE: MCDONALD'S)



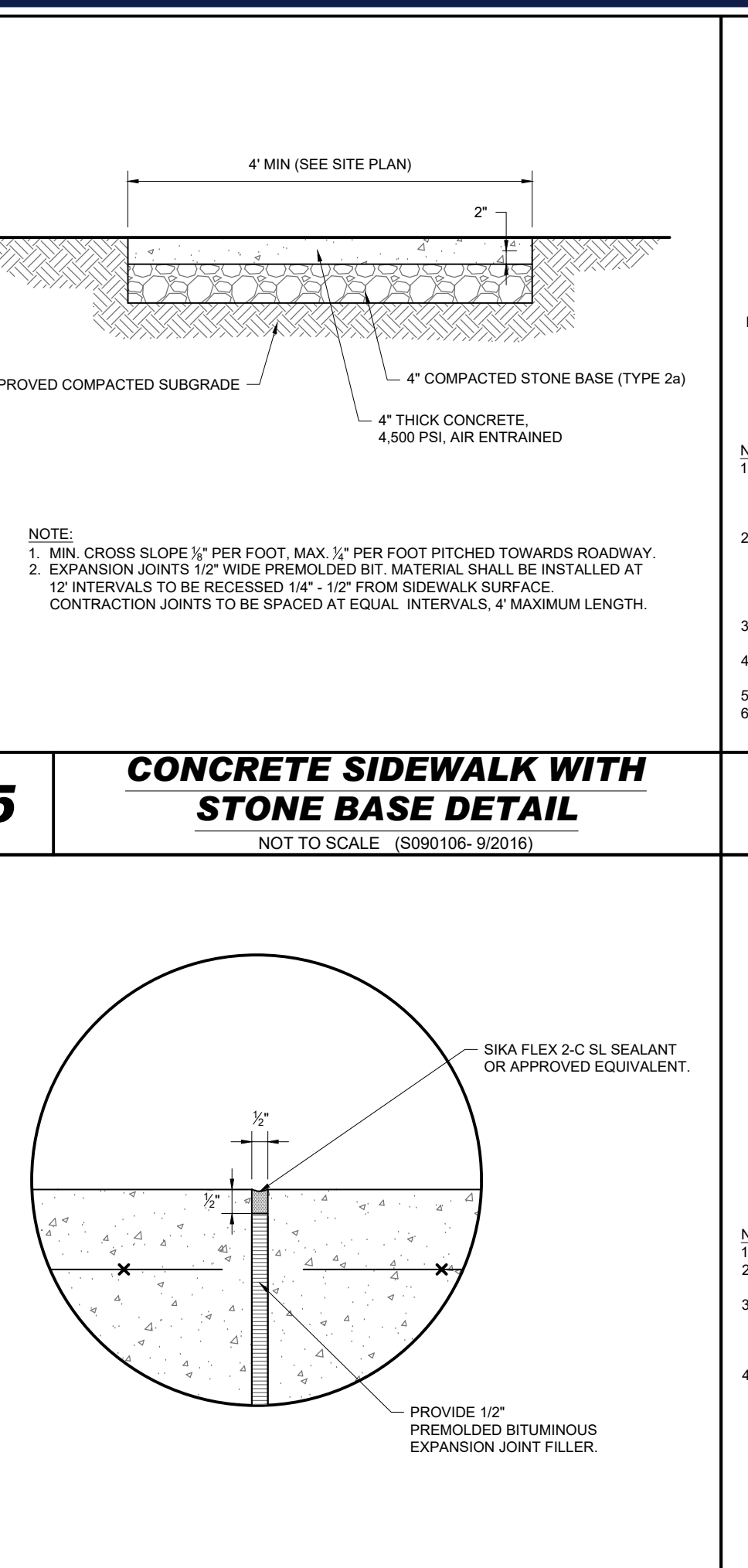
2 DRIVE-THRU SITE WIRING DIAGRAM
NOT TO SCALE (SOURCE: MCDONALD'S)



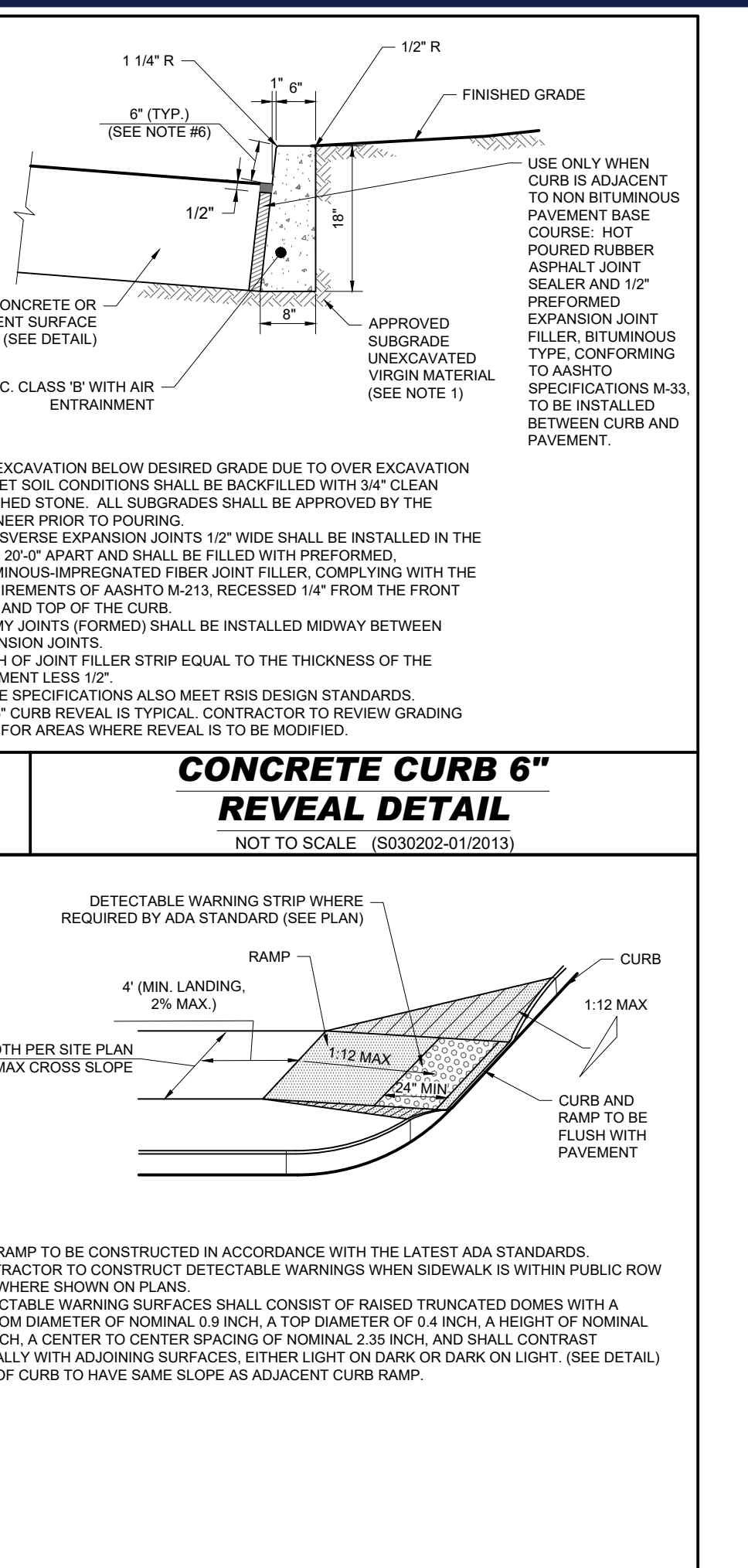
3 AUTO DETECTOR WIRING DIAGRAM
NOT TO SCALE (SOURCE: MCDONALD'S)



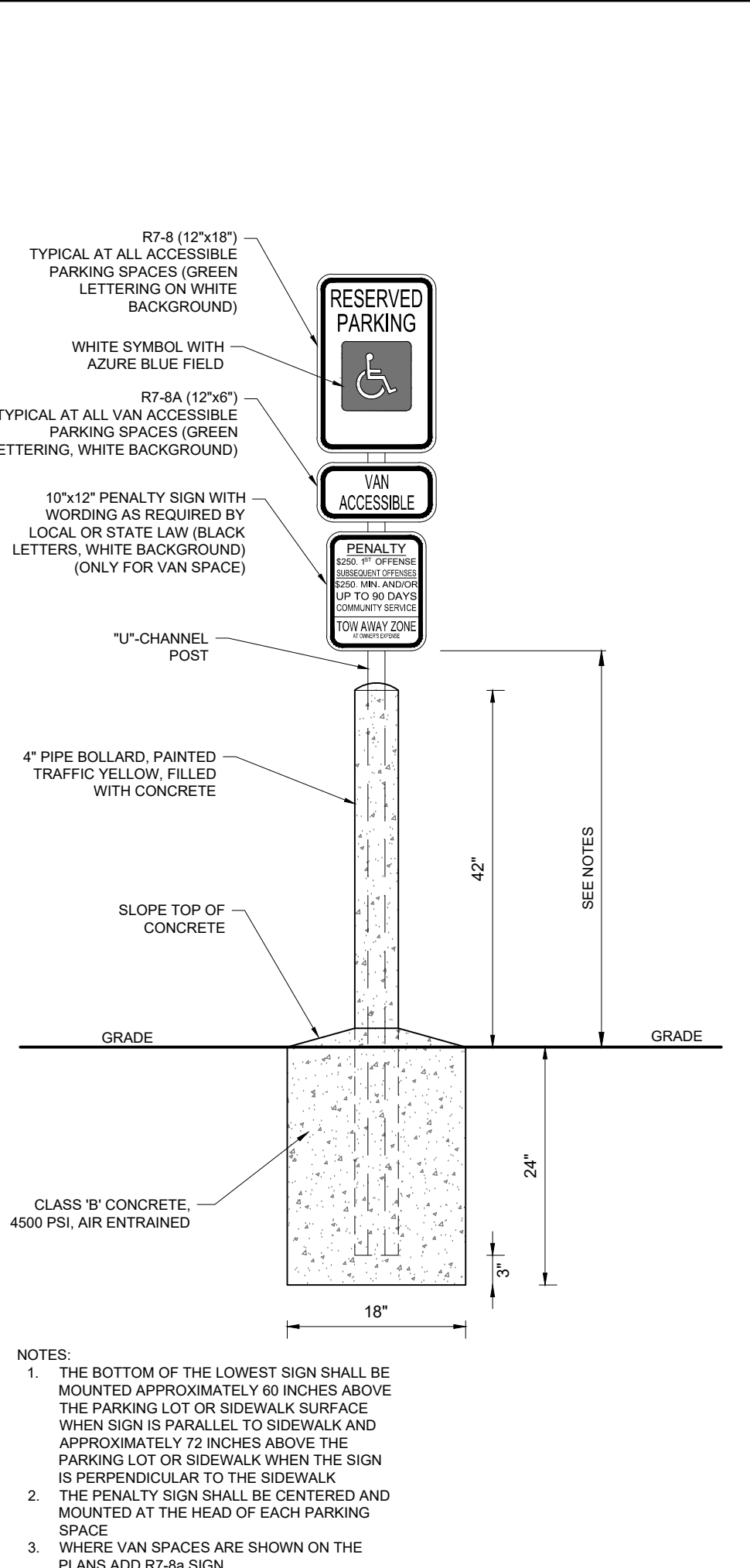
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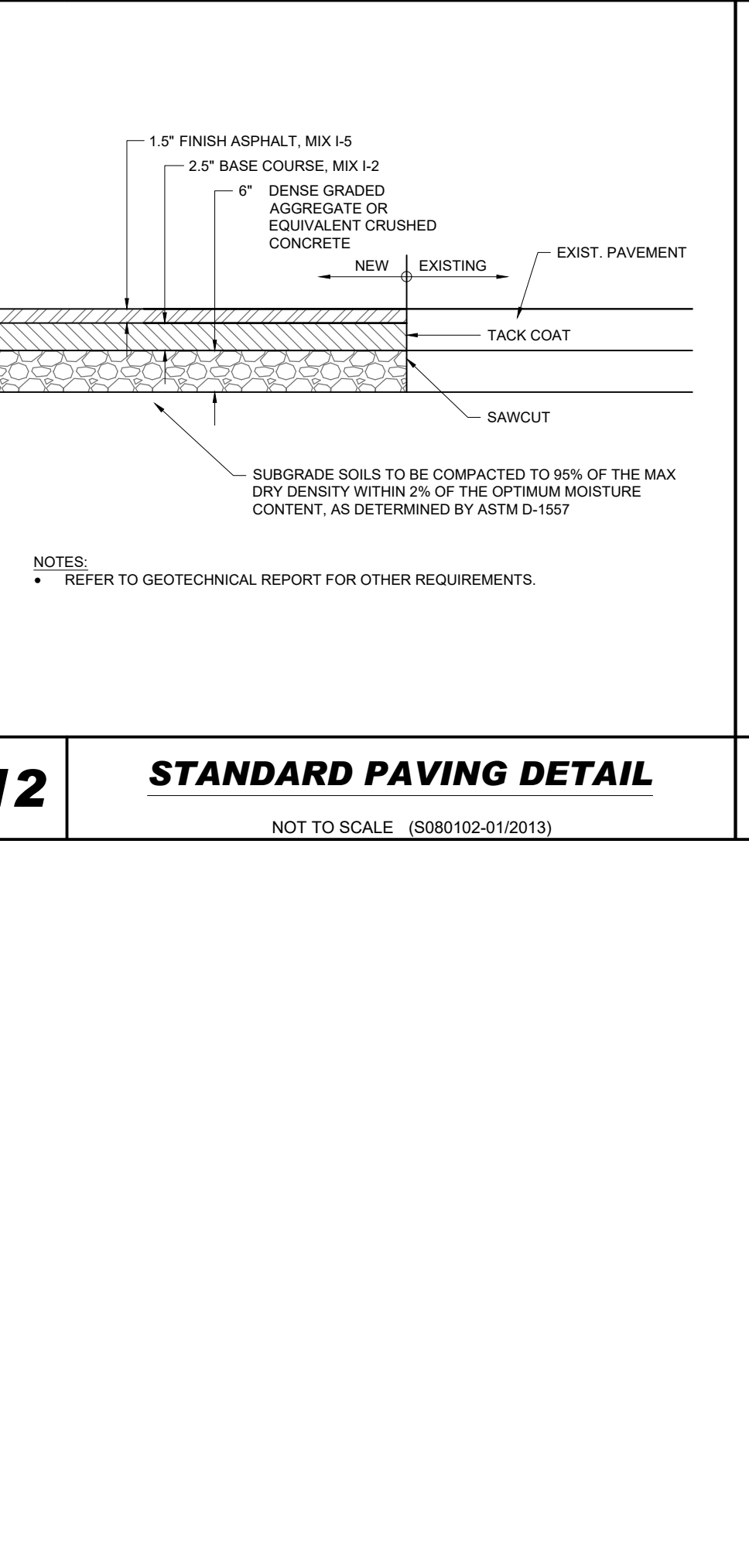
5 CONCRETE SIDEWALK WITH STONE BASE DETAIL
NOT TO SCALE (S090106-9/2016)



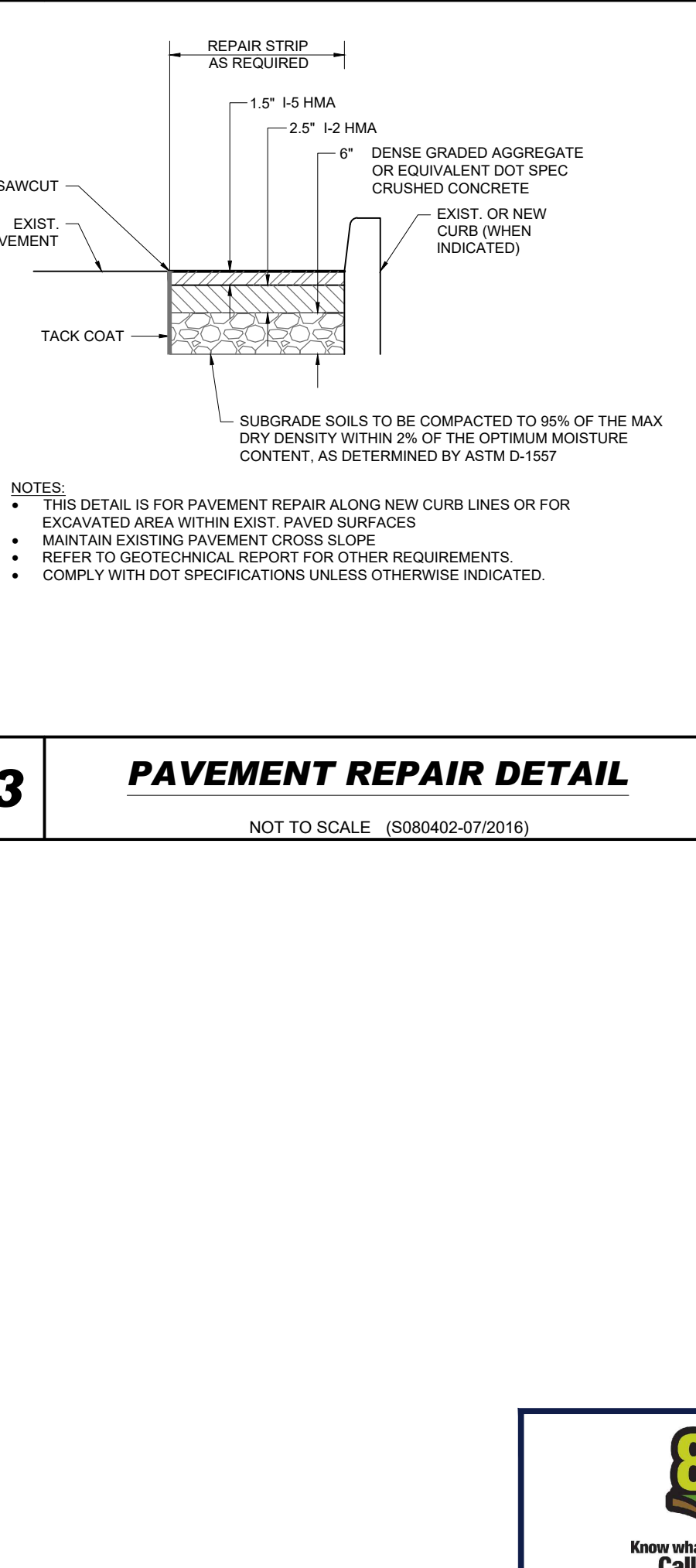
6 CONCRETE CURB 6\"/>



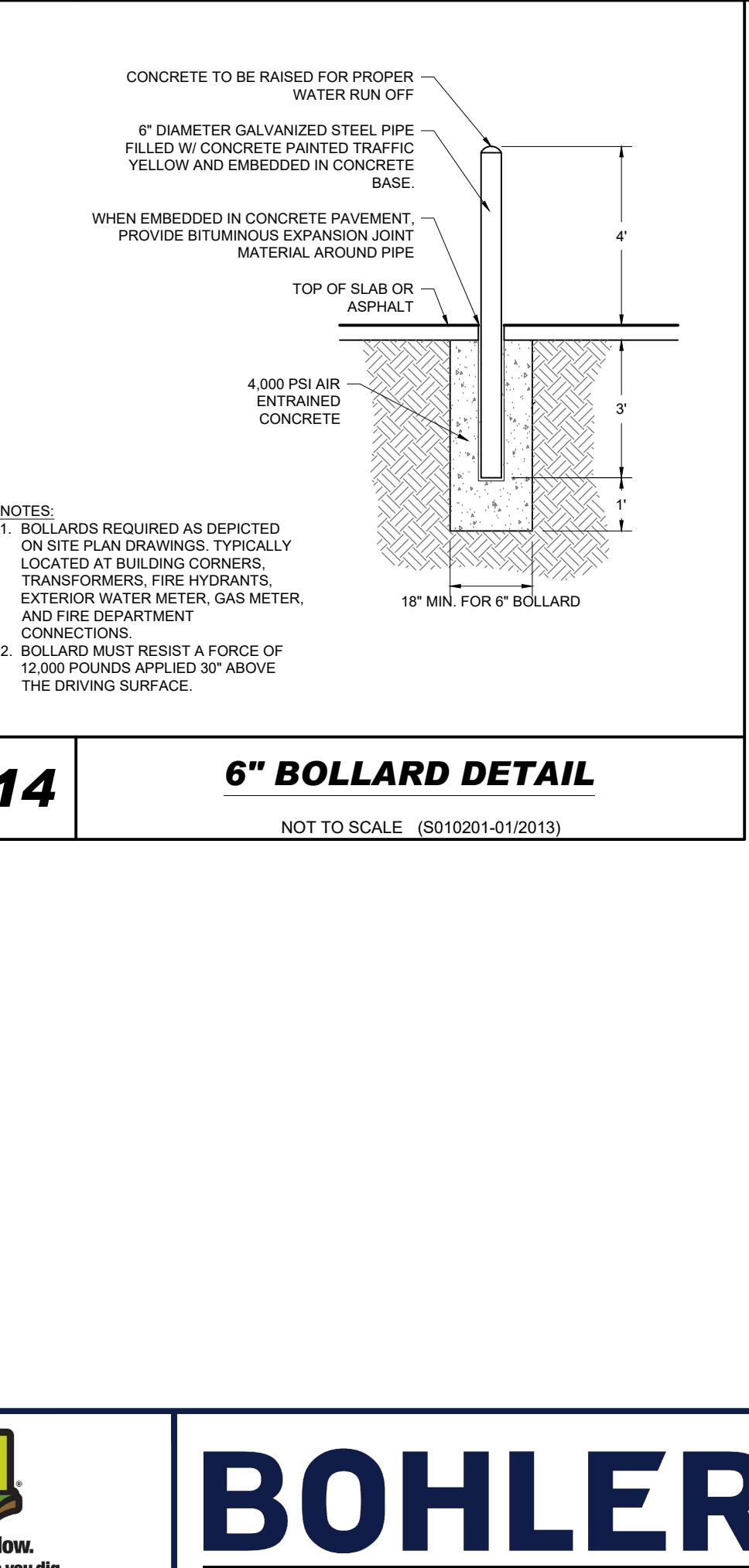
7 ADA FLUSH CURB DETAIL
NOT TO SCALE (S039904-01/2013)



8 ADA CURB RAMP DETAIL
NOT TO SCALE (S070101-01/2013)



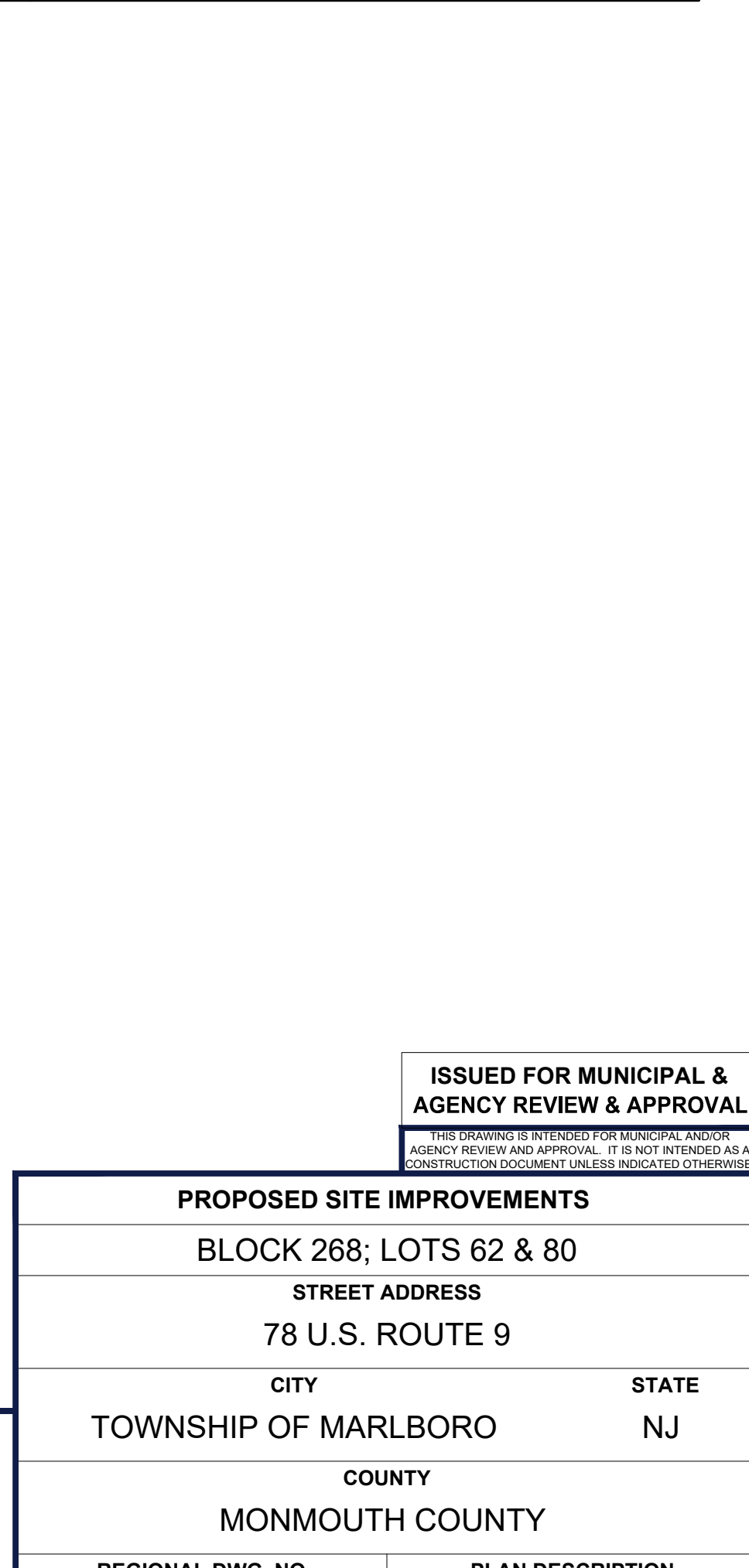
9 EXPANSION JOINT WITH SEALANT DETAIL
NOT TO SCALE (S090109-01/2013)



10 STANDARD PAVING DETAIL
NOT TO SCALE (S080102-01/2013)



11 PAVEMENT REPAIR DETAIL
NOT TO SCALE (S080402-07/2016)



12 6\"/>



13 ADA PARKING SIGN ON BOLLARD
NOT TO SCALE (S070201-11/2016)



14 6\"/>

ISSUE REF	BY	DESCRIPTION	DATE	REV	FINAL PLAN SIGNATURES
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PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL	
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PROPOSED SITE IMPROVEMENTS BLOCK 268; LOTS 62 & 80 STREET ADDRESS 78 U.S. ROUTE 9 CITY STATE TOWNSHIP OF MARLBORO NJ COUNTY MONMOUTH COUNTY REGIONAL DWG. NO L/C: 029-0328 PLAN DESCRIPTION DETAIL SHEET	

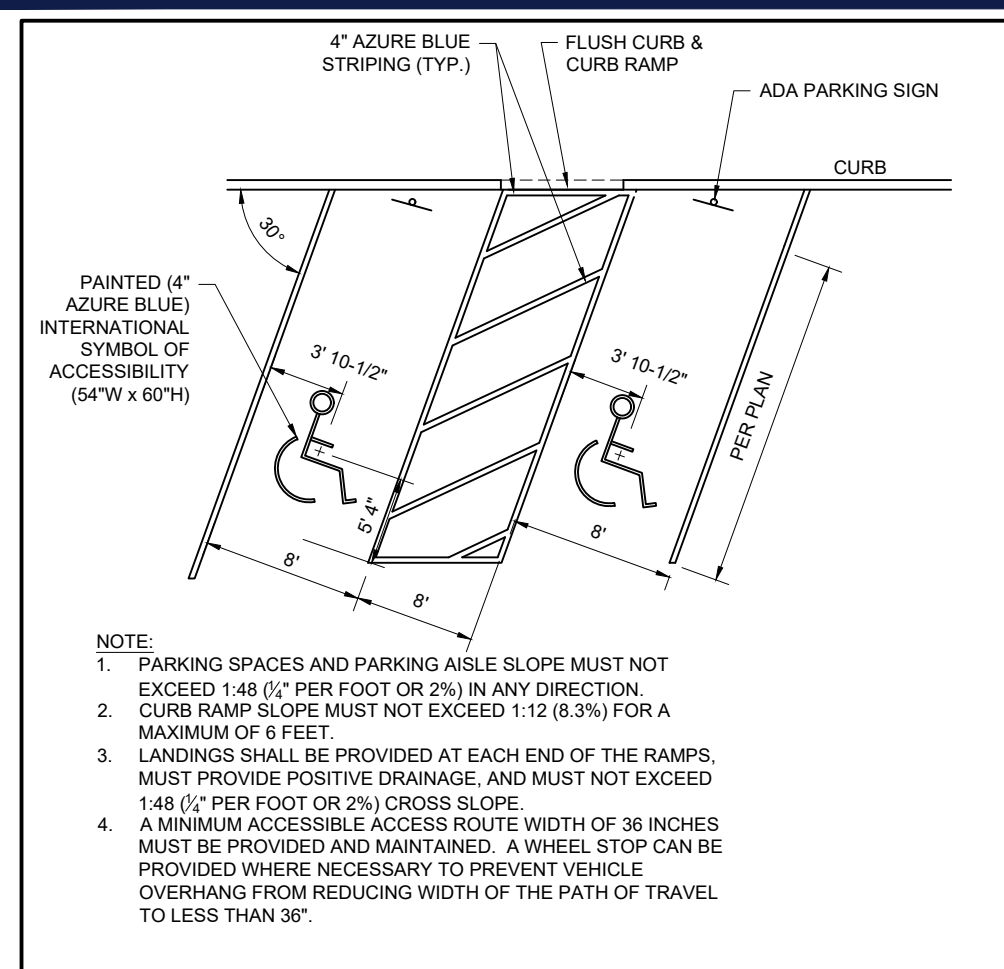
STATUS	DATE	BY
PRELIMINARY	01/22/21	RND
PLAN CHECKED	01/22/21	AJL
AS-BUILT	N/A	N/A

CO-SIGN SIGNATURES	CONTRACTOR OWNER

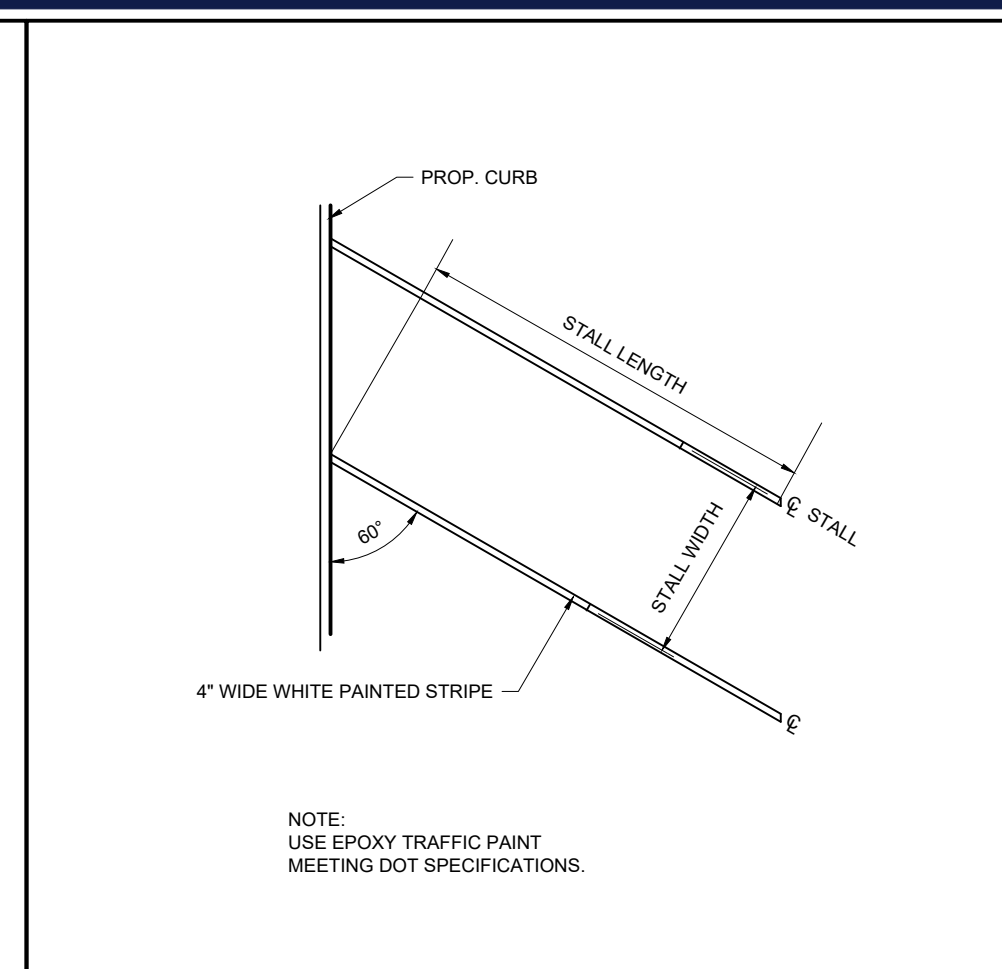
811 Know what's below. Call before you dig. NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-327-1600 www.nj-call.org		BOHLER SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES		BOHLER ENGINEERING NJ, LLC 30 INDEPENDENCE BOULEVARD WARREN, NJ 07059 Phone: (908) 658-3300 Fax: (908) 754-4401 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 246A28161700		B.A. BOHLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 47421 DELAWARE LICENSE No. 17111 FLORIDA LICENSE No. 73277 NEW YORK LICENSE No. 0885141 CONNECTICUT LICENSE No. 26039 PENNSYLVANIA LICENSE No. 077366	
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11 ADA PARKING SIGN ON BOLLARD NOT TO SCALE (S070201-11/2016)	C-903
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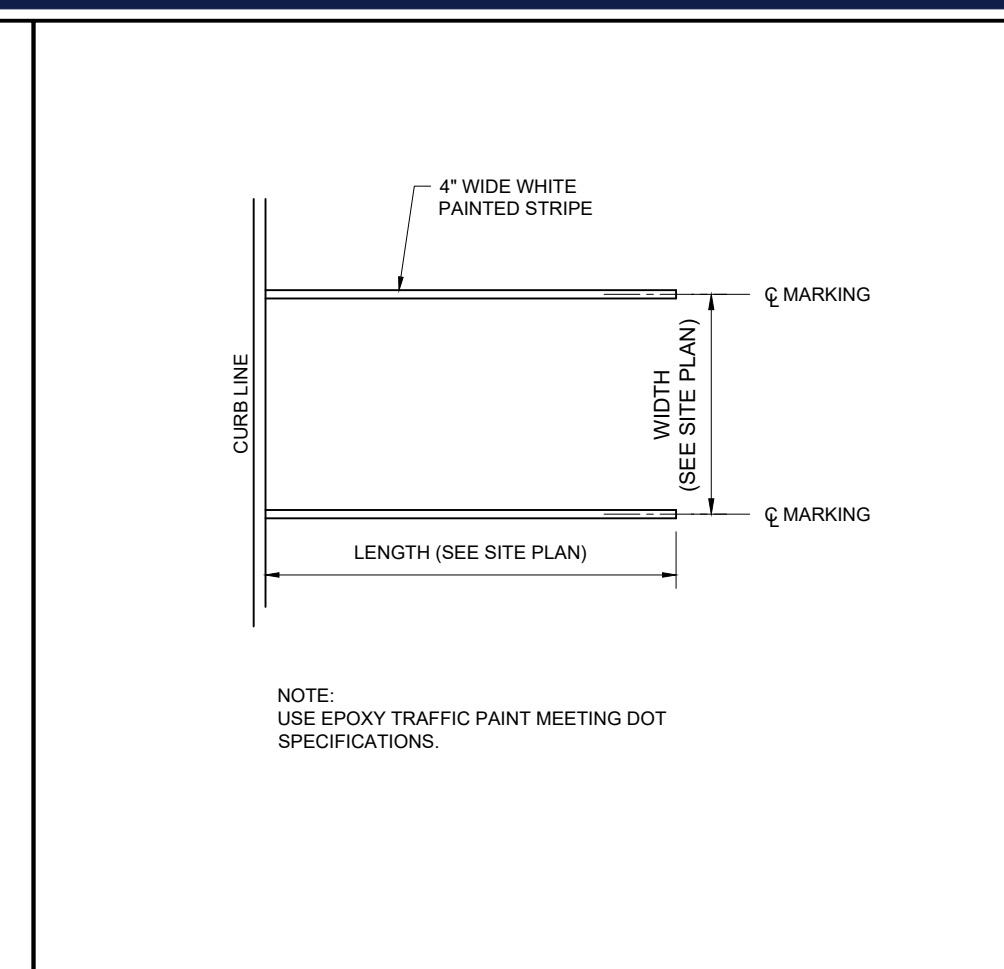
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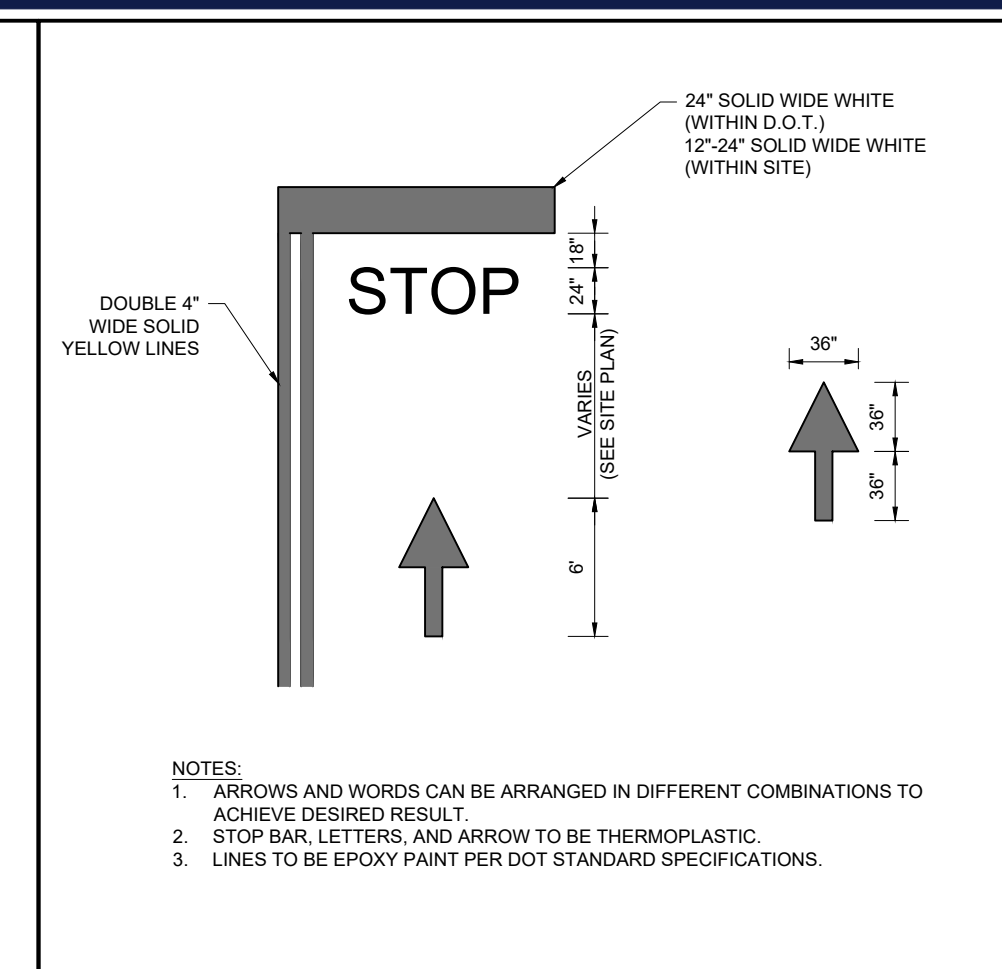
1 ANGLED ADA PARKING STALL MARKING DETAIL
NOT TO SCALE (S070301-01-05/2017) MOD - 01/2021



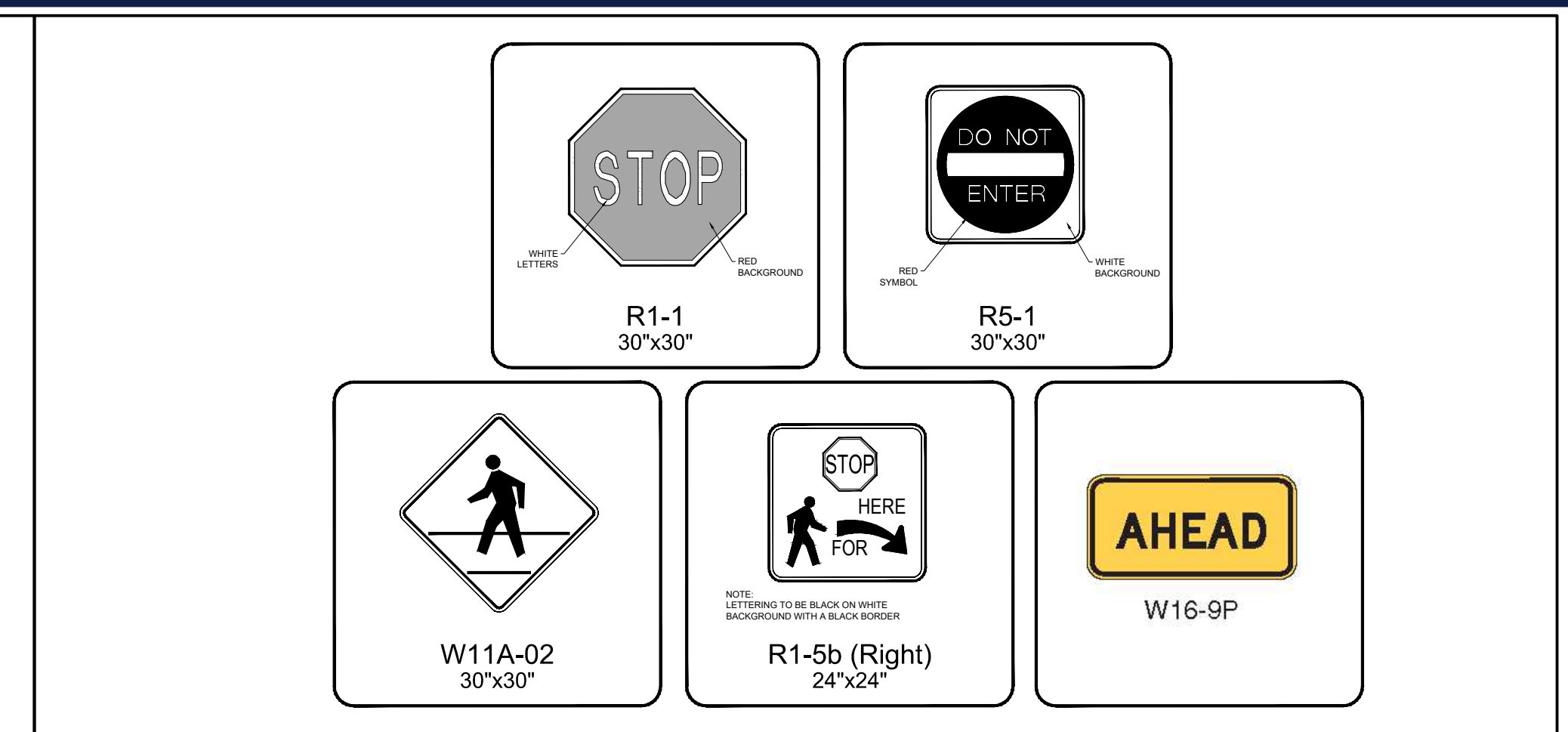
2 60° ANGLED STRIPING DETAIL
NOT TO SCALE (S080503 - 05/2018)



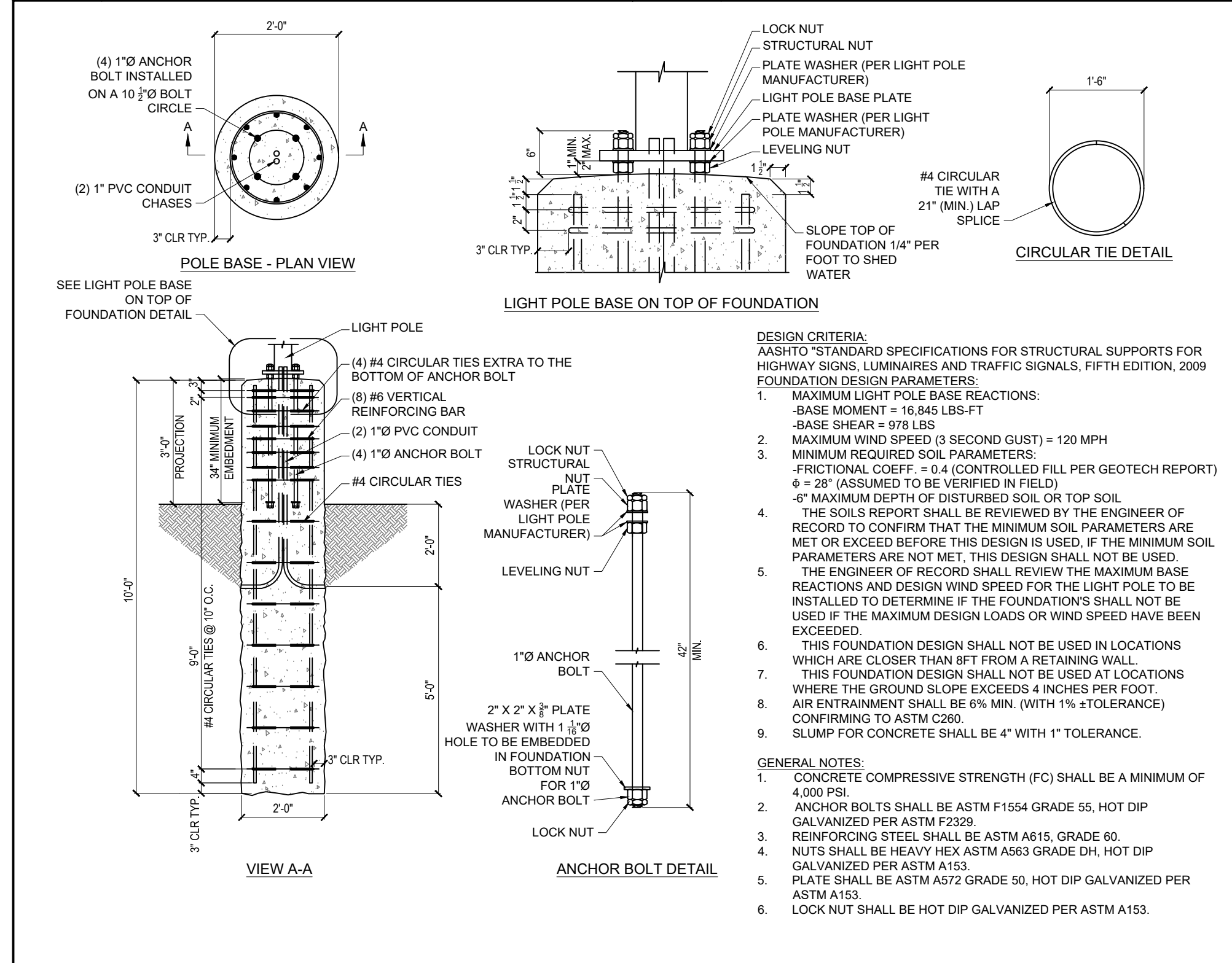
3 STANDARD STRIPING DETAIL
NOT TO SCALE (S080506-01/2013)



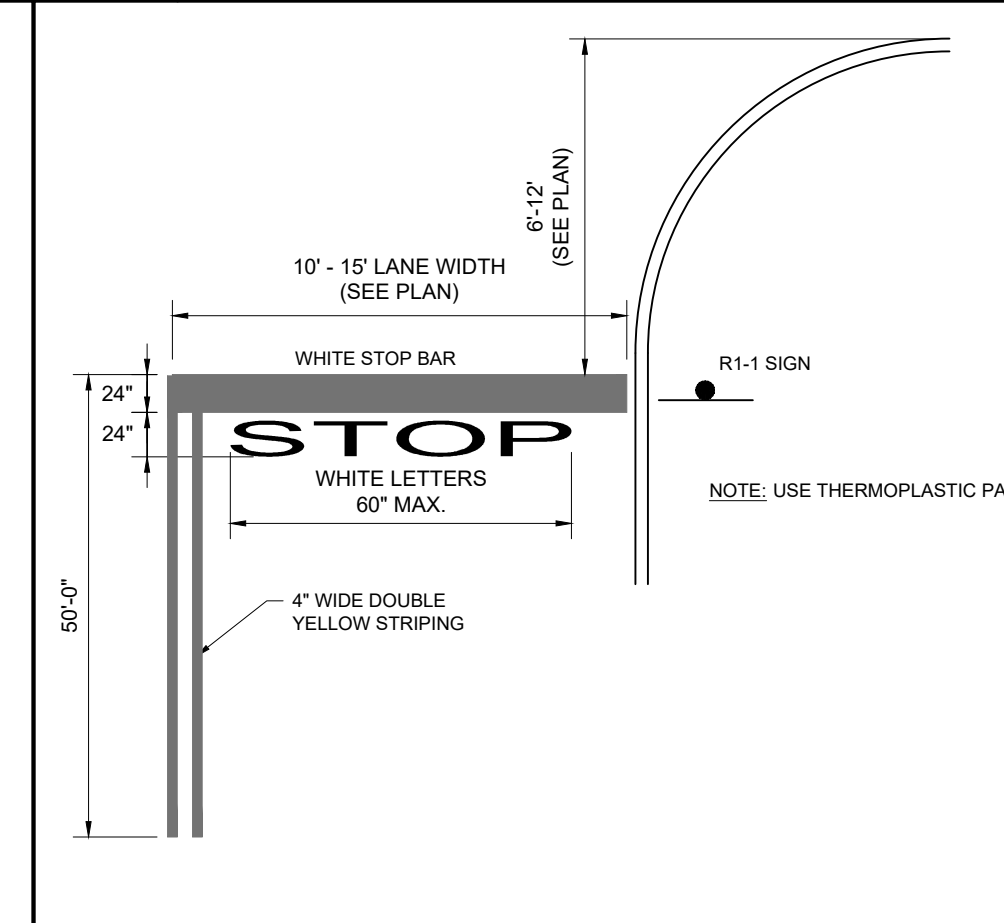
4 PAINTED MARKING DETAILS
NOT TO SCALE (S080501-01/2013)



6 TRAFFIC SIGN DETAILS
NOT TO SCALE (SOURCE: MUTCD)



7 LIGHT POLE FOUNDATION DETAIL
NOT TO SCALE



5 CONTROLLED INTERSECTION STRIPING AND SIGNAGE DETAIL
NOT TO SCALE (S080504-01/2013)

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695 E. MAIN STREET
STAMFORD, CT 06901 (203) 359-9238

PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	01/22/21	RND
		PLAN CHECKED	01/22/21	AJL
		AS-BUILT	N/A	N/A

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PROPOSED SITE IMPROVEMENTS
BLOCK 268; LOTS 62 & 80

STREET ADDRESS
78 U.S. ROUTE 9

CITY STATE
TOWNSHIP OF MARLBORO NJ

COUNTY
MONMOUTH COUNTY

REGIONAL DWG. NO L/C: 029-0328

PLAN DESCRIPTION
DETAIL SHEET

C-904

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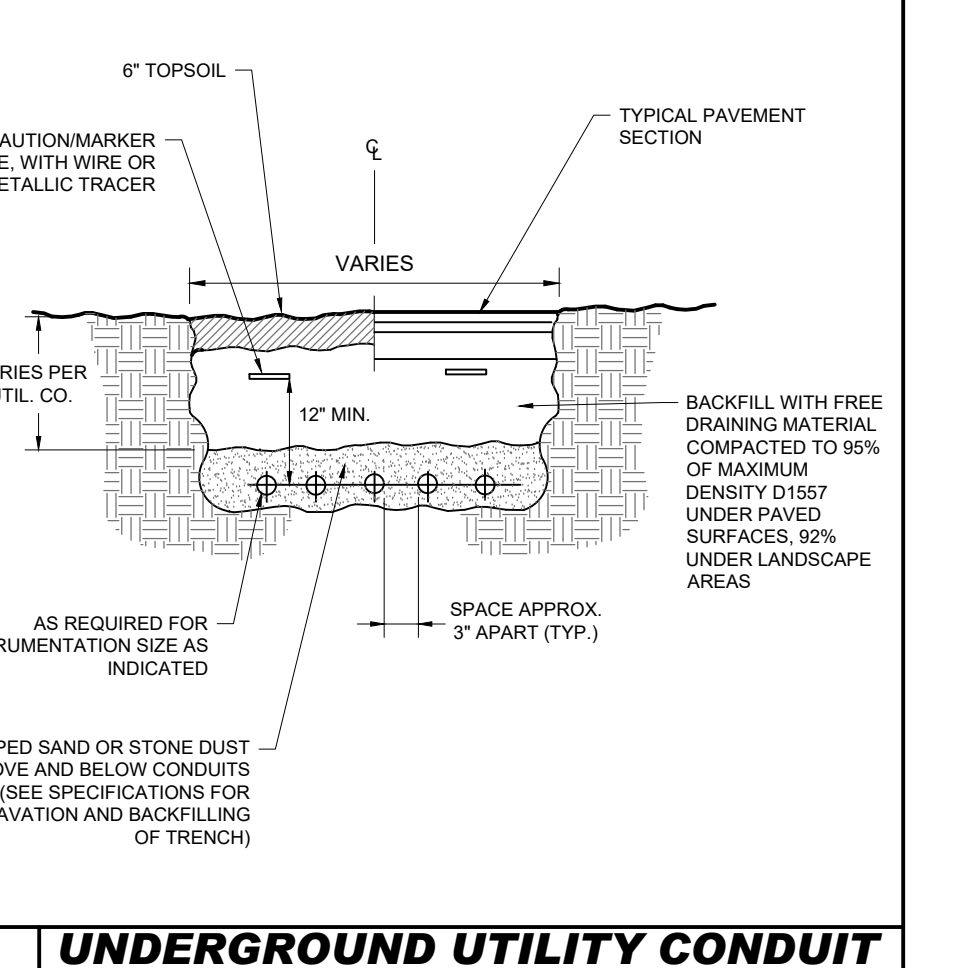
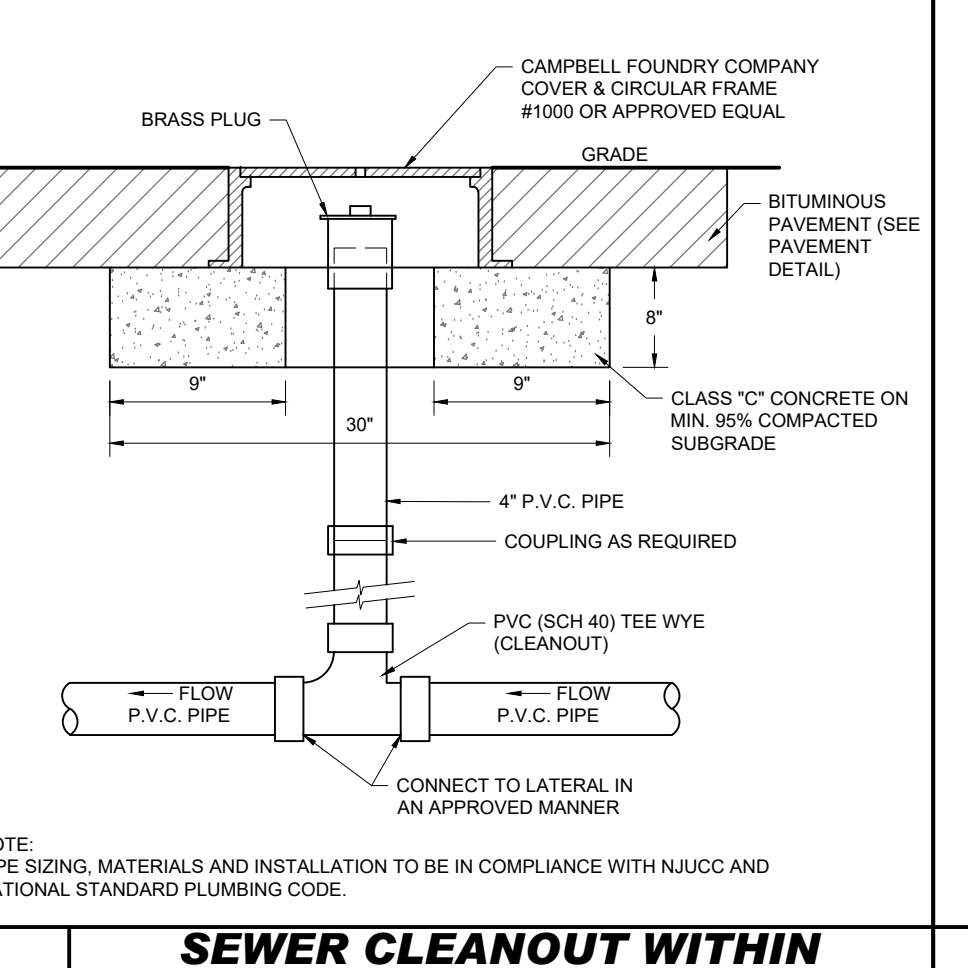
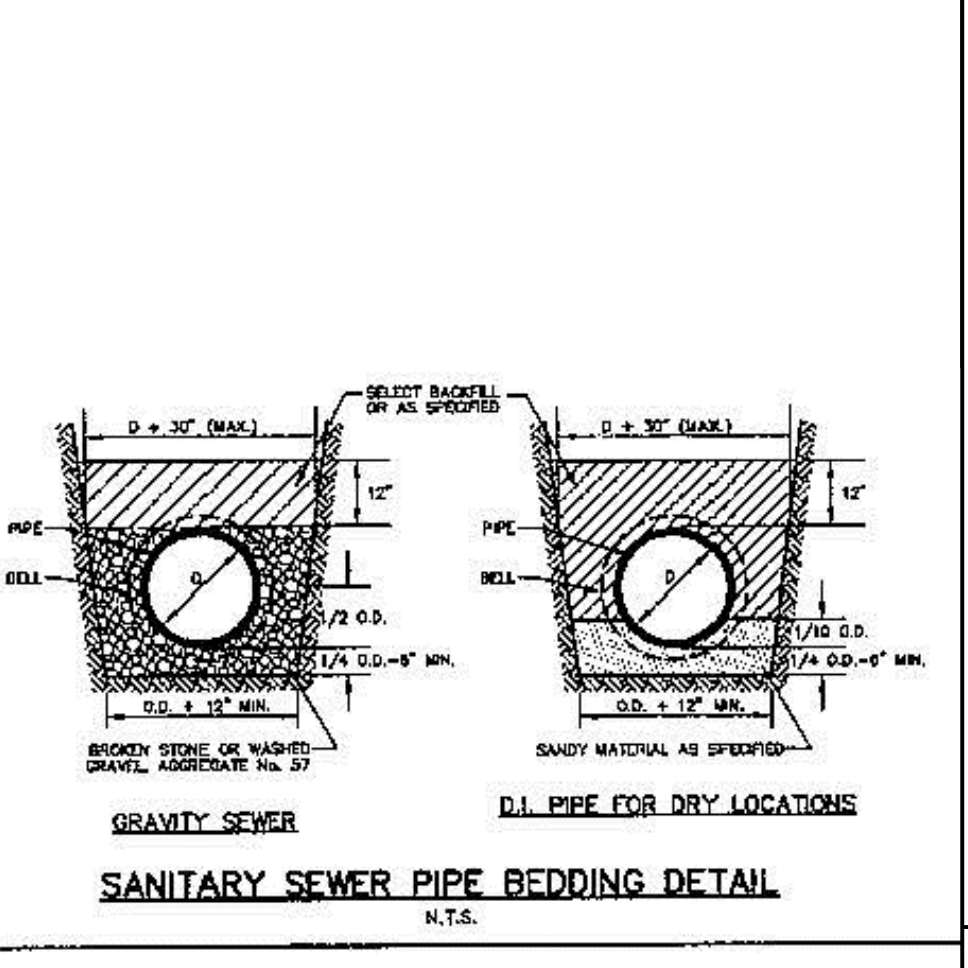
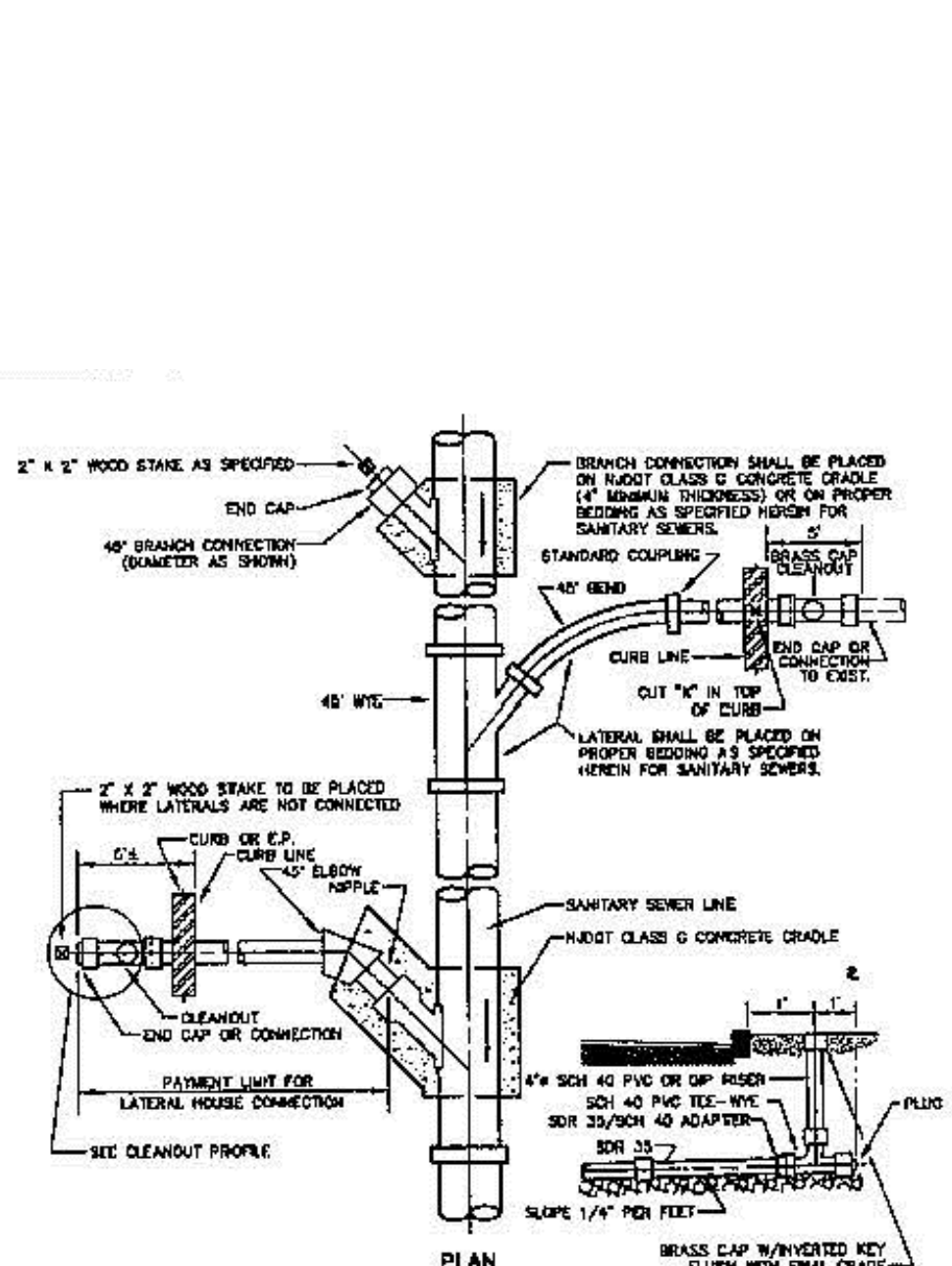
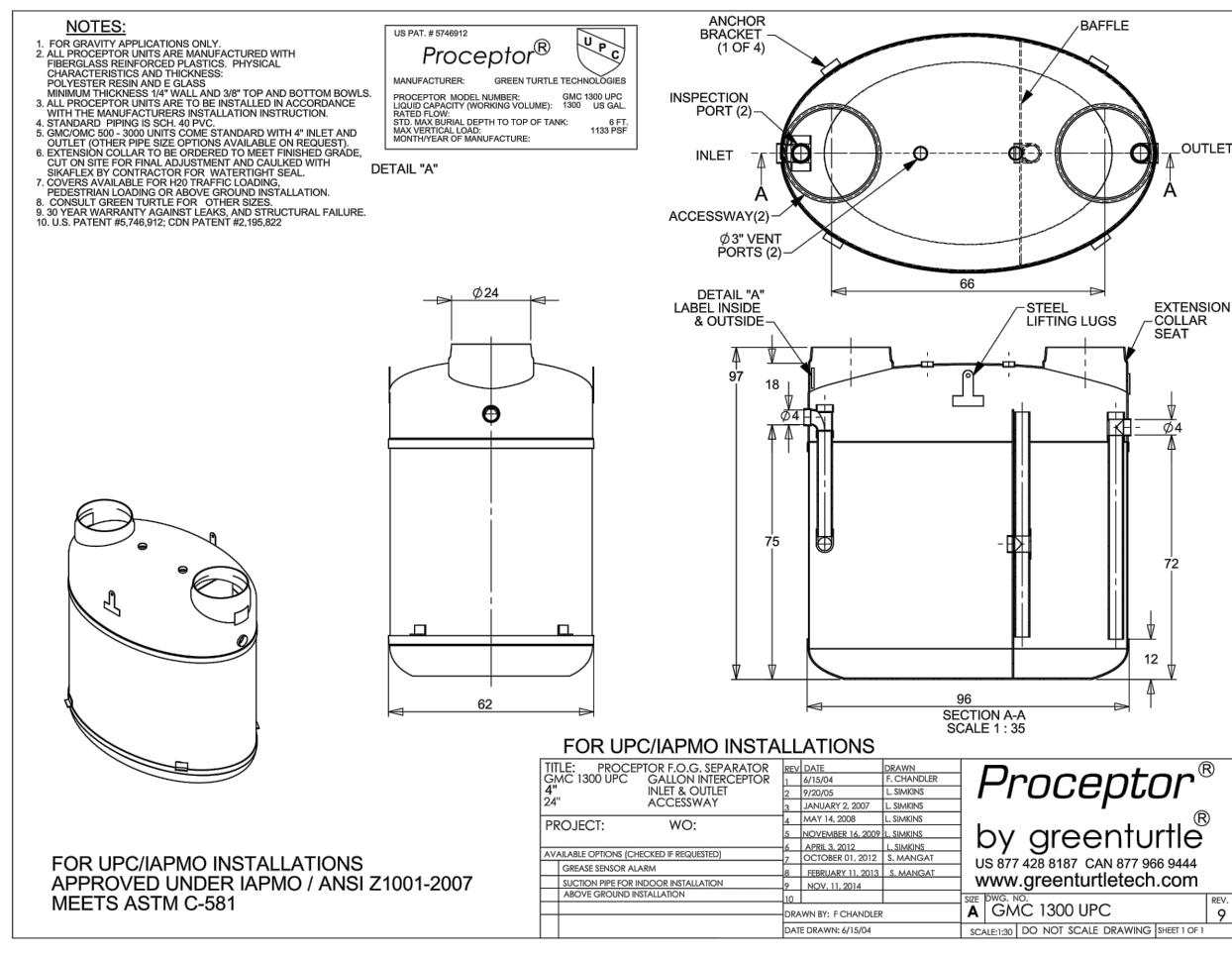
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN
PERMITTING SERVICES TRANSPORTATION SERVICES

BOHLER ENGINEERING NJ, LLC
30 INDEPENDENCE BOULEVARD
WARREN, NJ 07059
Phone: (908) 658-3300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 246A28181700

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NEW YORK LICENSE No. 088614-1
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PENNSYLVANIA LICENSE No. 077366

G:\01\1600\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\16046-CDS-01-LAYOUT-C-904-DET1



1 1,300 GALLON GREASE TRAP
NOT TO SCALE (SOURCE: GREENTURTLE)

2 SANITARY SADDLE CONNECTION DETAIL
NOT TO SCALE (SOURCE: WMUA)

3 SANITARY SEWER PIPE BEDDING DETAIL
NOT TO SCALE (SOURCE: WMUA)

6 GATE VALVE AND BOX DETAIL
NOT TO SCALE (U049904-012013)

7 WET TAP DETAIL
NOT TO SCALE (U049907-012013)

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SIGNATURE (2 REQUIRED)		PRELIMINARY	01/22/21	RND
		PLAN CHECKED	01/22/21	AJL
		AS-BUILT	N/A	N/A

C-906

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STREET ADDRESS
78 U.S. ROUTE 9

CITY STATE
TOWNSHIP OF MARLBORO NJ

COUNTY
MONMOUTH COUNTY

REGIONAL DWG. NO PLAN DESCRIPTION
L/C: 029-0328 **DETAIL SHEET**

CAJ ID: J180405.CDS.DF

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